

CITY OF BAY MINETTE
PLANNING COMMISSION

AGENDA

January 14, 2021

Regular Meeting

8:00 a.m.

City Hall Council Chambers
301 D'Olive Street, Bay Minette

- 1.) Call to Order
- 2.) Invocation and Pledge
- 3.) Approval of Minutes for the December 10, 2020 Regular Meeting
- 4.) **Old Business**
 - Z-2002 and SD-2001 – JRC Properties, Red Hill Creek Estates Subdivision
- 5.) **New Business**
 - SP-2101 – Out of the Box Ventures, LLC
 - Request:* Site Plan Approval for Popeye's Restaurant
 - Location:* The subject property is located at 201 McMeans Avenue, approximately 600 feet north of the intersection of McMeans Avenue/S US Hwy 31 and D'Olive Street.
- 6.) **Reports**
 - a.) Mayor/Council
 - b.) Attorney
 - c.) Commissioner's Comments
 - d.) Planning Staff
- 7.) **Adjournment**

Bay Minette Planning Commission Regular Meeting Minutes

Minutes December 10, 2020

Monthly Meeting No. 12

The Bay Minette Planning Commission met in Regular Session on Thursday, December 10, 2020. The meeting was called to order at 8:00 a.m., by Chairman Stewart, in the Council Chambers located in Bay Minette City Hall, in Bay Minette, Alabama; this being the proper place, date and hour as advertised to hold such meeting.

IN ATTENDANCE At 8:00 a.m. the following members were present:

Todd Stewart, Chairman
Robert A. "Bob" Wills, Mayor
Scotty Langham, Commission Member
Neal Covington, Commission Member
Earl Emmons, Commission Member
William Taylor, Commission Member
Patrick Robinson, Building Official
Wynter Crook, Commission Member

Commission Members absent:

Jessica Davis, Commission Member

Other persons in regular attendance:

Scotty Lewis, Attorney
Clair Dorough, City Planner
Jessica Peed, Planning Assistant
Tammy Smith, City Administrator
Steven Stewart, Bay Minette Fire Department
Tina Covington, Public Relations Coordinator
Leslie Johnston, SARPC

GUESTS

Fran Posey
Ryley Corliss??
Art Dyas

INVOCATION

Commission Member Langham gave the invocation, followed by the pledge.

Chairman Stewart states Mayor Wills has an announcement before the

Planning Commission will begin. Mayor Wills states he would like to formally recognize the “Employee of the Year” and asked for Mrs. Covington to bring the certificate and gifts of appreciation. Mayor Wills states “Employee of the Year” for 2020 is Jessica Peed, and follows with a speech recognizing her work ethic and citing a few of the nomination quotes. Mrs. Peed is presented with her certificate and gifts and is congratulated.

William Taylor joined the Planning Commission meeting at 8:02 am.

ITEM 3. Approval of Minutes of the November 12, 2020 meeting. Commission Member Langham made a motion to approve the November minutes as written. The motion was seconded by Commission Member Emmons and was unanimously carried.

ITEM 4. Old Business: NONE

ITEM 5. New Business:

a.) Z-2002 – JRC Properties, Red Hill Creek Estates Subdivision

Request: Rezone one parcel from M-1, Light Industrial to R-2, Medium Density Single Family Residential

Location: The subject property is located at the end of Red Hill Road Ext., approximately 0.3 miles from Red Hill Road

Chairman Stewart states this topic was briefly introduced at the previous Planning Commission meeting in which prior to the subdivision request, the Planning Commission would need to consider the request to rezone one parcel related to the Preliminary Plat. Scotty Lewis asks Mrs. Dorrough if a Special Exception would have been a better route to which Mrs. Dorrough explains that a Rezoning is the fastest and cleanest way forward.

Chairman Stewart asks Art Dyas, the agent representative, to point out the highlights of the Rezoning request. Mr. Dyas states he is the representative for Elizabeth Citrin who is the property owner. He introduces the location, and states it is a good property for a residential zoning. He also states they are trying to create the most advantageous subdivision for the city which includes most of the lots to be larger with the exception of two lots at the end, which will only be 2.8 acres. Councilman Taylor inquires if the requested rezoning will be for a certain type home to which Mr. Dyas

states there will not be a restriction for the type of home since the residential owners will be deciding. A discussion commences on which type of homes will be allowed in the requested R-2 rezoning to which Mrs. Dorough states no duplex, multi-family or manufactured/mobile homes will be allowed. Mayor Wills states the restrictive covenants may include certain specifications pertaining to the style of homes and Scotty Lewis states the Planning Commission will be privy to any restrictions placed on property at the time of final plat. Chairman Stewart inquires if they are any questions for the applicant or any rezoning issues to which there were none. Mrs. Dorough briefly discusses the annexation history of the property and states by rezoning to an R-2 zoning designation, the properties will be more consistent with the surrounding areas.

With no other questions or comments, Chairman Stewart opens the Public Hearing at 8:16 am for the request to rezone the property from the M-1 zoning designation to the R-2 designation. Mayor Wills states the proposed homes will be substantial. Mr. Dyas states the owner of the surrounding properties, Jim Atchison, has no plans for development for the surrounding timberland properties. With no other questions or comments, Chairman Stewart closes the Public Hearing at 8:22 am.

Commission Member Covington makes a motion of recommendation to the City Council to approve the rezoning from M-1 to R-2. Commission Member Langham seconded, and it was unanimously carried.

b.) SD-2001 – JRC Properties, Red Hill Creek Estates Subdivision

Request: Preliminary Plat – Major Subdivision approval for an 11-lot subdivision

Location: The subject property is located at the end of Red Hill Road Ext., approximately 0.3 miles from Red Hill Road

Chairman Stewart introduces the preliminary plat request for a major subdivision. There is a discussion on the topography of Lots 7 and 8, and the division between county and city maintenance and permitting. Scotty Lewis states that before the final plat approval is recorded, there may be a need to note the requirements of water and sewage on the plat. There was a brief discussion on the water main extending from the closest 6-inch line at Silsbee Terrace.

With no other comments, Chairman Stewart opens the Public Hearing to approve the preliminary plat for an 11-lot subdivision at 8:31am. Fran Posey states that she understands the subdivision will be joining her property and requested to view the plans. Chairman Stewart asked if all

adjacent landowners received the notification letters, to which Mrs. Dorrough states they did. Mrs. Posey reviewed the plans and stated she had no other questions. Chairman Stewart closed the Public Hearing at 8:33am.

Commission Member Covington inquired if the utility line is complete, to which Mrs. Dorrough states there is a major expense that can be a condition of final approval.

With no other questions or comments, Commission Member Covington makes a motion to approve the preliminary plat for an 11-lot subdivision contingent upon a successful rezoning of the property. Commission Member Emmons seconded and the motion unanimously carries.

ITEM 6. Reports:

A. Mayor/Council Report

- Mayor Wills states the Chamber of Commerce decided to cancel Christmas Fest due to the recent "Safer at Home" order made by Governor Ivey. He also states the two newest council members, Pete Sellers and Matt Franklin, are looking forward to new growth within the city.

B. Attorney

- Scotty Lewis states he hopes everyone has a great Christmas. Leslie Johnston states most employees of SARPC are working virtually.

C. Commissioner

- None

D. Planning Staff

- Mrs. Dorrough states the next Ordinance Regulation(s) the Planning Department will be working on will be the tiny homes as they are increasing in inquiries as far as permitting and zoning. She states she will be working with Steven Stewart, Patrick Robinson and Scotty Lewis on codes. There is a discussion on if water/plumbing, and the building and fire codes, and recent cases that have occurred related to improper anchor strapping, windows, and fire hazards. Mayor Wills inquires on costs related to a tiny home, and a discussion commences regarding the different options regarding zoning. Mrs. Dorrough states the Commission will also need to state the difference between a recreational vehicle, mobile home, and tiny home. Mrs. Johnston states she has been working with another municipality in which they have similar regulations. There is a discussion on various definitions that could be applied,

PUD Homes, and aesthetic and building aspects that will need to be considered. Chairman Stewart asked if Mrs. Johnston would send the verbiage for the municipality with the tiny home regulations to Mrs. Dorrough so that she may distribute to the Commission.

ITEM 8. With no further business Chairman Stewart adjourned the meeting at 8:55 a.m.

DONE THIS THE 10TH DAY of DECEMBER 2020

Todd Stewart, Chairman

ATTEST:

Jessica Peed, Planning Assistant



City of Bay Minette

Planning & Development Services

Planning Commission Staff Analysis

Case No. SP-2101
 Out of the Box Ventures, LLC Property
 Site Plan Approval Request for Popeye's Restaurant
 January 14, 2021

Subject Property Information

Physical Location:	201 McMeans Avenue	Applicant:	Out of the Box Ventures, LLC
Parcel Number:	05-23-05-16-2-001-031.002		2776 McCarroll Drive
Current Zoning:	B-2, General Commercial District		Baton Rouge, LA 70809
Current Land Use:	Vacant Commercial Lot	Owner:	Out of the Box Ventures, LLC
Proposed Land Use:	Quick Service Restaurant		2776 McCarroll Drive
Acreage:	0.79± acres		Baton Rouge, LA 70809

	Adjacent Land Use	Adjacent Zoning
North	Sonic	B-2, General Business District
South	Waffle House	B-2, General Business District
East	Bay Minette Plaza Shopping Center	B-2, General Business District
West	Single Family Residential	B-2, General Business District

Summary

The subject property, which consists of approximately 0.79± acres, is currently zoned B-2, General Business District. The Site Plan request is for a Popeye's Restaurant. The entire site consists of the 1.7 acres located between Sonic Drive Thru and Waffle House Restaurant. The Popeye's Restaurant is the first of two potential businesses proposed and it will be located on the northern portion of the property closer to Sonic. The second, as yet to be determined, will be located on the site of the former Monterrey's Mexican Restaurant. There has been some recent right-of-way vacations and the applicant has applied for an Administrative Subdivision to combine and reconfigure the property lines. Drive-in Restaurants are allowed by right in the B-2, General Business District.

Table of Permitted Uses and Conditions	R-A	R-1	R-2	R-3	R-4	R-5	B-1	B-2	M-1	M-2
Drive-In Restaurant							P	R		

Current Zoning District

6.3.2 B-2, General Business District. This district is intended to provide opportunity for activities causing noise and heavy traffic, not considered compatible in the more restrictive business district. These uses also serve a regional as well as a

local market and require location in proximity to major transportation routes. Recreational vehicle parks, very light production and processing activities are included.

Staff Analysis and Findings

The following guidelines for Uses Requiring Planning Approval are found in **Article 8 – District Requirements** in the **Zoning Ordinance of the City of Bay Minette** and are to be considered when an application is being reviewed for site plan approval.

1.) Is the Location and Site Plan appropriate with regard to transportation, access, water supply, waste disposal, fire and police protection and other public facilities; not causing undue traffic congestion or creating a traffic hazard.

The proposed use should have a nominal impact on public infrastructure. The Bay Minette Police Department and Bay Minette Fire Department have stated they have no issues and North Baldwin Utilities has issued a review letter attached in the packet that the applicant is currently addressing.

2.) Being in harmony with the orderly and appropriate development of the district in which the use is located.

The proposed use is consistent with its current zoning designation – B-2, which is *“intended to provide opportunity for activities causing noise and heavy traffic, not considered compatible in the more restrictive business district”* The subject property is designated as Commercial on the Future Land Use Map in the Comprehensive Plan, which is consistent with the current designation and proposed use. The property immediately adjacent to the north is Sonic Drive-In and adjacent to the south is Waffle House restaurant. To the east across McMeans is the Bay Minette Plaza Shopping Center, containing various fast food restaurants, a pharmacy, gym, healthcare and multiple retailers. To the west is a single family residential neighborhood, Fletcher Estates, which was established in 1959. The proposed site is the location of the numerous restaurant establishments, most recently, the former Monterrey’s Mexican Restaurant, which has since been demolished. The surrounding area should benefit more from an active business than having a vacant lot at the City’s most active intersection.

3.) Other matters which may be appropriate in relation to Section 8.9 Site Plan

a) *The density or intensity of land use to be allocated to all parts of the site together with tabulations by acreage and percentages thereof itemized by use and density.*

- Site: .79 acres
- Existing structures/lot coverage: N/A Vacant lot
- Proposed Building Area (under roof): 2,645 ±sq ft // 7.59% lot coverage
- Proposed Impervious Parking Area: .46 acres // 58.23% lot coverage
- Proposed Grassed/Landscaped Area: .27 acres // 34.18% lot coverage

b) *The location, size and character of any common open space, commonly owned facilities and form of organization which will own and maintain any common open space and such facilities.*

N/A

c) *The use and maximum height, bulk and location of all buildings and other structures to be located on the site.*

Site Plan attached – proposed building height is 22 ft with a maximum building area under roof of 2,645 sf

d) *The substance of covenants, grants of easements or other restrictions which will be imposed upon the use of the land, buildings and structures, including proposed easements or grants for public utilities or other purposes.*

N/A

e) *The provisions for disposition of open space, including tree protection, landscaping provisions and buffering requirements.*

Approximately .27 acres (34.18%) of the site is proposed for grassed/landscaped area, a minimum of 15% of the total lot area is required. The proposed Landscaping Schedule listed below, will need to be modified to meet the regulations of 10.5.2, which states all shrubs shall be installed as a 5 gallon minimum and all trees installed as 15 gallon minimum.

LANDSCAPING SCHEDULE			
SYMBOL	SPECIES	SIZE	QTY.
A	CREPE MYRTLE(MULTI)	2" DIA 8' TALL	3
B	BALD CYPRESS	2" DIA 8' TALL	2
C	RIVER BIRCH	2" DIA 6' TALL	2
D	GIANT LIRIOPE(VER)	1 GALLON	52
E	NEW GOLD LANTANA	1 GALLON	60
F	SUNSHINE LIGUSTRUM	3 GALLON	23
G	VERIGATED FLAX LILY	1 GALLON	9
H	BARBERRY	3 GALLON	12
J	PLATINUM BEAUTY BREEZE GRASS	2 GALLON	10
K	WINTER HEATH	1 GALLON	30
L	SNOW WHITE INDIAN HAWTHORN	3 GALLON	23
M	DWARF BLUE ATLAS CEDAR	10 GALLON	5
	CRITPEDE SOD / GROUND COVER	48 REQUIRED	

- f) *In the case of plans which call for development over a period of years, a schedule showing the proposed times within which applications for building permits are intended to be filed.*

N/A

- g) *Where required by the Alabama Department of Transportation ("ALDOT"), the Building Official shall be proved proof that the applicant has submitted a driveway permit application to ALDOT. In the event that any type of traffic study is required by the ALDOT, copies thereof shall be provided to the Building Official.*

The applicant has submitted ALDOT's review comments (attached in the packet). There are two existing points of ingress/egress on McMeans Avenue/SR 59 that have been used for years – one on the northern end of the property and one on the southern end. ALDOT has requested that the access point on the southern end be removed and a concreted curb placed until the second site is developed. At that time, ALDOT would approve a right in, right out access for that site.

- h) *Front and side architectural elevations.*

Attached in packet

- i) *The location and size of all signs to be located on the site. In the event that a sign is pre-existing and fails to conform to the requirements as set forth in this ordinance, site plan approval will be granted only under the condition that all signs will comply with the regulations as set forth in the sign ordinance.*

The submittal information includes preliminary details for a freestanding sign, per requirements, this sign can be a maximum of 20 feet tall and 75 square feet in area. The pole support must consist of or be covered entirely in masonry, stone, wood or other decorative surface treatment such that metallic structural elements are not visible (paint, textured or otherwise, does not qualify as cladding material). There are four building signs proposed – one main on the front, a single logo on each side and a message on the right side. The site is allowed 2 square feet of building sign area per linear foot of main/entry façade, which is estimated at 34 linear feet for a total allowable building signage amount of 68 square feet. Directional signage and menu boards are included, however those signs are exempt. All signage will require a City of Bay Minette Sign Permit prior to installation and will comply with current sign regulations.

- j) *Landscape plans.*

See item (e) above.

k) *Any additional data, plans or specifications which the applicant or the City believes is pertinent and which will assist in clarifying the application including, but not limited to plans for screening, lighting and space, surface drainage, erosion and sediment control, water and sewer connections, landscaping, and signs.*

Parking is required at 1 and ¼ spaces for every four seats. There are a total of 47 seats proposed for a required amount of 15 spaces. The applicant has exceeded that amount with 20, 9'x24' spaces, including 2 handicap accessible spaces.

Staff Recommendation: Based on the submitted information and the analysis above, staff recommends that the proposed Site Plan for Popeye's Restaurant be **Approved**.

Staff Recommendation // Planning Commission Action

For Site Plan Approval, the Planning Commission makes the final decision and has the option to:

- Approve the Site Plan
- Approve the Site Plan with conditions
- Deny the Site Plan, with stated factors for the denial.

SP-2101

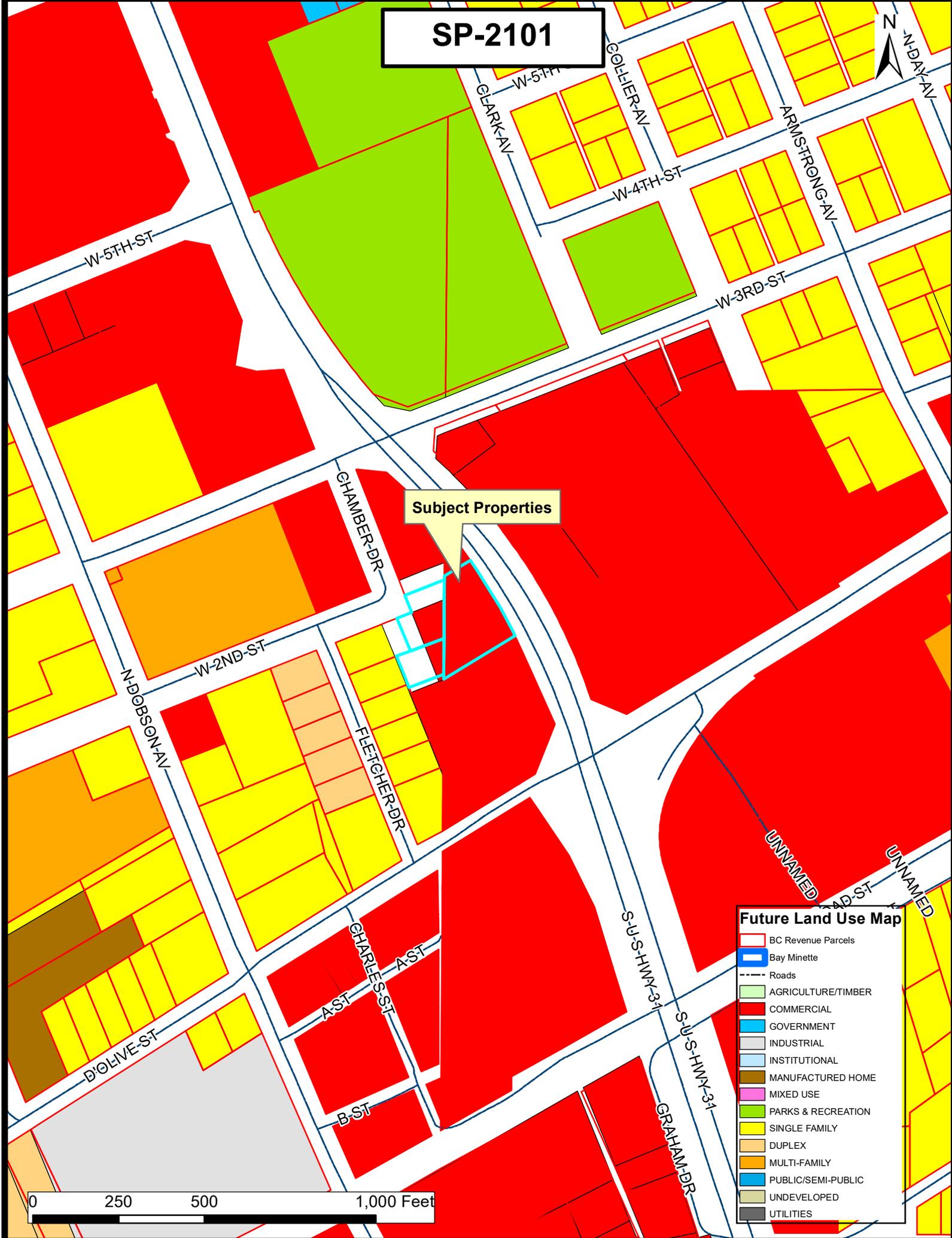


Subject Properties

Future Land Use Map

- BC Revenue Parcels
- Bay Minette
- Roads
- AGRICULTURE/TIMBER
- COMMERCIAL
- GOVERNMENT
- INDUSTRIAL
- INSTITUTIONAL
- MANUFACTURED HOME
- MIXED USE
- PARKS & RECREATION
- SINGLE FAMILY
- DUPLEX
- MULTI-FAMILY
- PUBLIC/SEMI-PUBLIC
- UNDEVELOPED
- UTILITIES

0 250 500 1,000 Feet



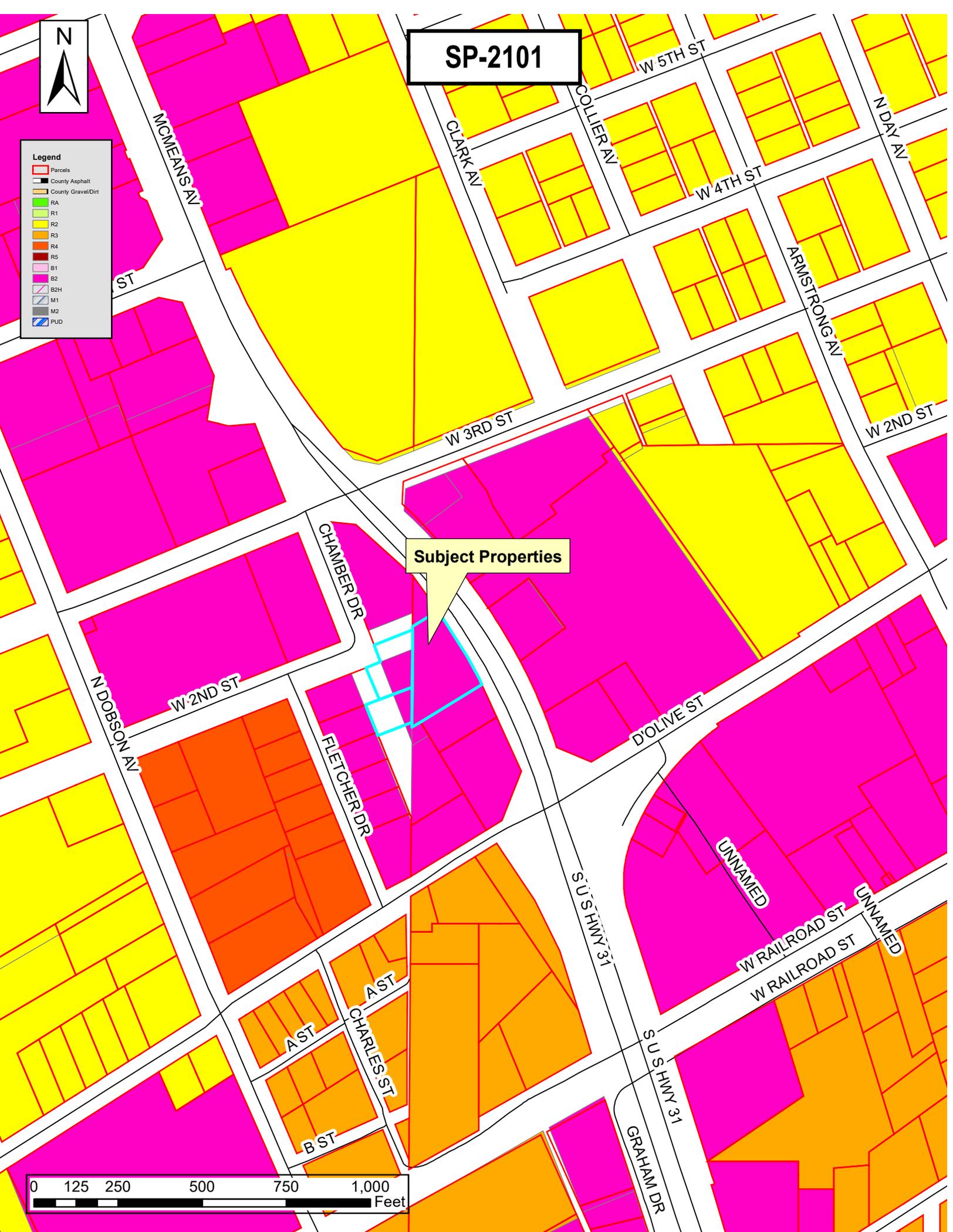
SP-2101



Legend

- Parcels
- County Asphalt
- County Gravel/Dirt
- RA
- R1
- R2
- R3
- R4
- R5
- B1
- B2
- B2H
- M1
- M2
- PUD

Subject Properties



Parcels
Roads

SP-2101

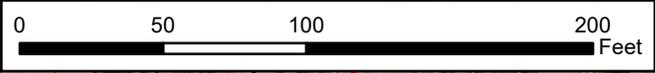


CHAMBER DR

ANS AV

Subject Properties

MCMEANS AV





City of Bay Minette

Site Plan Review Application

301 D'Olive Street · Bay Minette, Alabama 36507
Phone (251) 580-1650 · COBM_Planning@ci.bay-minette.al.us

Office Use Only	
Case No.:	_____
Fee:	\$300.00
Paid:	<input type="checkbox"/> Cash <input type="checkbox"/> Check
	<input type="checkbox"/> Credit Card

Are you the property owner? Yes No
(If you are not the property owner, you must submit an Agent Authorization Form signed by the property owner)

Applicant Name: Out of the Box Ventures, LLC Date: 12/15/20

Mailing Address: 2776 McCarroll Dr.

City: Baton Rouge State: LA Zip Code: 70809

Phone Number: 318-229-1102 Email: smarks@ipopeyes.com

Site Information

Property Address: 201 McMeans Ave. Bay Minette, AL 36507

or Property Location: _____

*Parcel No.: 05-23-05-16-2-001-031.002 *PPIN No.: 79481

**Parcel or PPIN information must be completed*

Request: Site Plan approval for a proposed Popeyes Restaurant.

I, the undersigned, do hereby request the City of Bay Minette Planning Commission to grant a Site Plan Review for the location to determine if it meets the regulations of the **Zoning Ordinance** for the reason(s) stated above.

 12/7/2020
Signature of Applicant (Owner of Property of Authorized Agent) Date

Submittal Requirements

- _____ Application
- _____ Fee paid in full
- _____ Agent Authorization Form (if applicant is not the owner)
- _____ Complete Legal Description of Property
- _____ Plot Plan or Survey – indicating any existing structures, proposed structures, and setbacks from property lines
- _____ Submittal Requirements listed in 8.9 Site Plan, as applicable



City of Bay Minette Agent Authorization Form

Office Use Only
Case No.: _____

I/We hereby appoint and designate SE Civil, LLC ("Agent") to act as my/our-agent in all matters concerning this application/permit which relates to property described as tax parcel PPIN# 79481. I/We understand that the scope of the agency designation granted herein is general in nature and includes, without limitation, all decision-making authority relating to submittals, status, conditions, or withdrawal of this application/permit. To the fullest extent permitted under Alabama law, I/we release and agree to hold the City of Bay Minette harmless from and against any liability resulting from acts or omissions of our Agent. I/We warrant and certify to the City of Bay Minette that I/we are the owner(s) of the real property identified herein, and that I/we have fully authority to make the agency designation herein. I/We further certify that the information stated on and submitted with this application/permit is true and correct. I also understand that the submittal of incorrect information will result in the revocation of this application/permit and any work performed will be at the risk of the applicant. I understand further that any changes which vary from the approved plans will result in the requirement of a new application/permit.

**NOTE: All correspondence will be sent to the authorized Agent. It will be the Agent's responsibility to keep the owner(s) adequately informed as to the status of the application.*

PROPERTY OWNER(S)

Out of the Box Ventures, LLC

Name(s) - Printed

2776 McCarroll Dr.

Mailing Address

Baton Rouge, LA

City/State

318-229-1102

smarks@ipopeyes.com

Phone

Email

Steve Agrios
Signature(s)

12/7/2020
Date

AUTHORIZED AGENT

SE Civil, LLC

Name(s) - Printed

880 Holcomb Blvd.

Mailing Address

Fairhope, AL 36532

City/State

251-990-6566

larry@secivil.pro

Phone

Email

[Signature]
Signature(s)

12/9/20
Date

Popeyes Bay Minette Legal Description

LOT 3, HOOPER'S CORNER, AS SHOWN BY MAP OR PLAT THEREOF RECORDED IN MAP BOOK 12, PAGE 137, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

AND

LOTS 3 AND 4, HOOPER'S COMMERCIAL PARK, AS SHOWN BY MAP OR PLAT THEREOF RECORDED AT SLIDE 2692-C, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

AND

THE EAST HALF OF THE VACATED PORTION OF MCMEANS AVENUE AS RECORDED AT INSTRUMENT 1804977

AND

THE SOUTH HALF OF THE VACATED PORTION OF WEST 2ND STREET AS RECORDED AT INSTRUMENT 1804978



NORTH BALDWIN UTILITIES

25 Hand Ave | Bay Minette, AL 36507
251.937.0345 fax | 251.580.1626 phone
www.northbaldwinutilities.com

PROVIDING QUALITY SERVICES SINCE 1945 - NATURAL GAS • WATER • WASTEWATER

December 17, 2020

Clair Dorough
City of Bay Minette
301 D'Olive St
Bay Minette, AL 36507

Re: Popeyes Louisiana Kitchen

North Baldwin Utilities has reviewed the civil plans dated 11/23/20 and offers the following comments:

1. We need the MEP plans to review the sizing of the proposed grease trap.
2. The 8" Sanitary Sewer line needs to be extended to the southern property line of Lot 1 of Hooper's replat.
3. All laterals running from the grease trap to the 8" sanitary main shall be 6" minimum.
4. The fire hydrant shown needs to be shown closer to the edge of West 2nd Street.
5. All tap and aid to construction fees shall be paid to North Baldwin Utilities prior to meters being set.
6. NBU will install the natural gas service from the main to the meter.

Please feel free to contact us should there be any questions or if we may be of assistance.

Sincerely,

NORTH BALDWIN UTILITIES

Jeremy W. Sasser
Engineering Manager

Cc: Jason M. Padgett, General Manager, NBU
Larry Smith, PE, SE Civil

From: larry@secivil.pro
Sent: Friday, November 13, 2020 9:59 AM
To: jackson@secivil.pro
Subject: FW: ALDOT Review for Popeye's in Bay Minette - Out of the Box Ventures, LLC / SR-59, MP 45.93

See below.

Larry Smith, PE
880 Holcomb Blvd., Suite 2F
Fairhope, Alabama 36532
251-990-6566 phone
www.secivil.pro



From: Miller, Jeremy L. <millerje@dot.state.al.us>
Sent: Friday, November 13, 2020 9:42 AM
To: larry@secivil.pro
Cc: Smith, Michael <smithmi@dot.state.al.us>; Denton, Samantha H. <dentons@dot.state.al.us>; White, J. Jason <whitejoh@dot.state.al.us>; Styron, David <styrond@dot.state.al.us>; Reed, Darrin <redd@dot.state.al.us>; Ray, Tiffany R <raytr@dot.state.al.us>
Subject: ALDOT Review for Popeye's in Bay Minette - Out of the Box Ventures, LLC / SR-59, MP 45.93

Larry,

The referenced permit submittal has been reviewed – see comments below. Please resubmit the materials after having all items addressed.

Applications/ Checklists/ Supporting Documents:

- Change Route to SR-59 & Milepost to 45.93
- All applications will need to be signed, witnessed, and dated prior to final submittal.
- ADEM NOI or NOR will need to be provided due to all disturbed areas is more than 1 acre.

Plans:

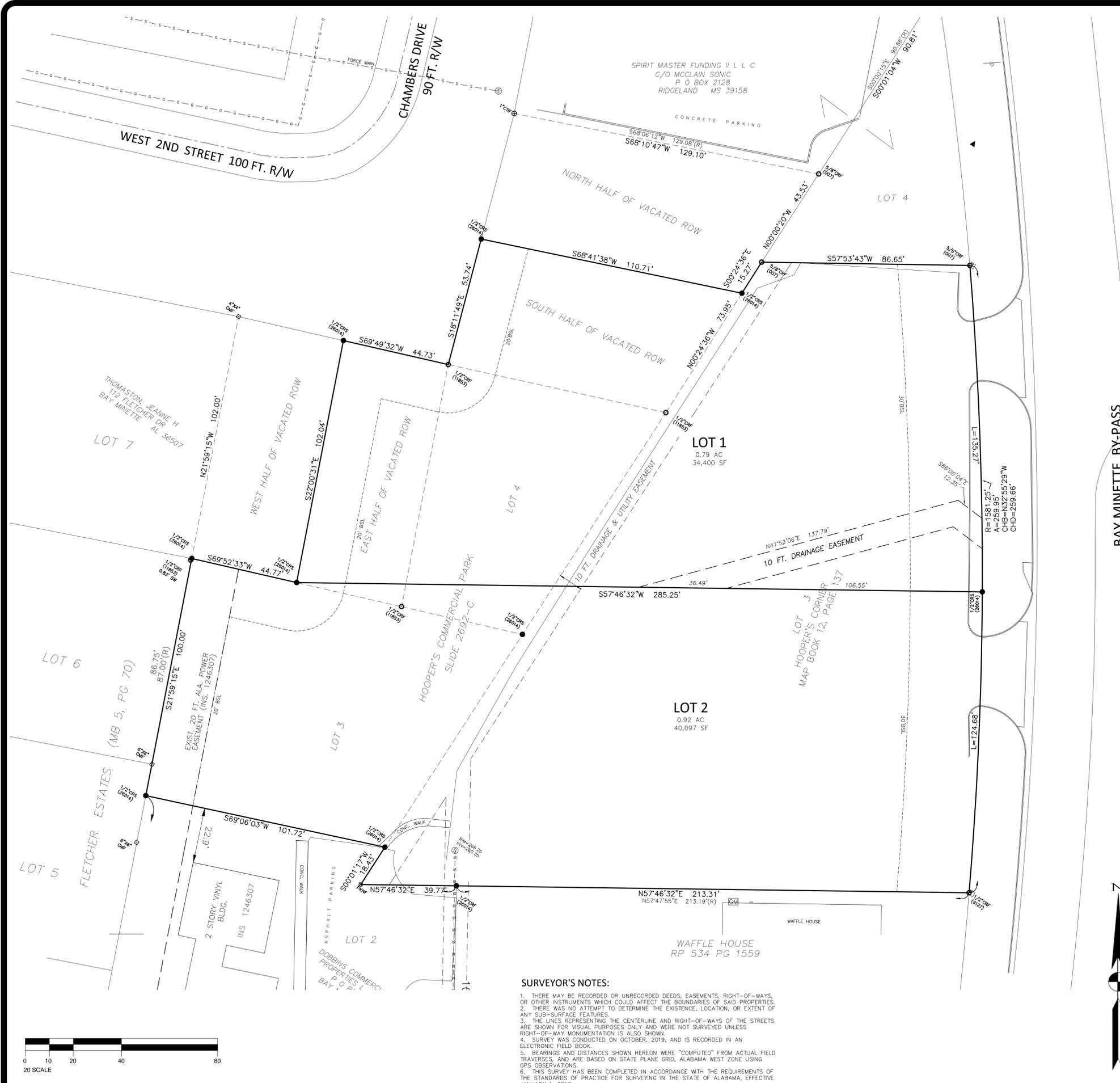
- Where is this power pole on the plan set? Will this be relocated?
- Are there any existing utilities underneath the proposed turn lane? If so, please show.
- Sheet C02
 - Stop line needs to be shown for the right out.
 - The double yellow stripe needs to stop at the STOP line instead of continuing to EOP
 - Add a Right Turn Only sign mounted below the stop sign
- Southern-most access needs to be removed and replaced with curb.

- ALDOT STDs Turn Lane Build up is missing from details – please add.
 - Use following Buildup for Turn Lane:
 - Wearing Surface Layer, 1.5”, 165 LBS/SY
 - Upper Binder Layer, 2”, 220 LBS/SY
 - Lower Binder Layer, 3”, 330 LBS/ SY
- The S-inlet needs to be shown on all sheets that show the curb.
- There are two separate details for the inlet and junction box. The detail with index number 62160 on sheet C23 is not applicable.
- The ALDOT details should be the only details used for the junction box and inlet on ALDOT ROW.
- The other details that are not ALDOT Standards shall not be used on ALDOT ROW.
 - The wing catch basin and manhole details on sheet C14 need to be noted these are only for construction OFF ALDOT ROW.
- The call outs on Sheet C03 need to be corrected and be referred to as the ALDOT Standard detail for each junction box and inlet.

If you have any questions, feel free to contact us.

Thanks,

Jeremy Miller
District 92 Permits
Southwest Region
47450 Rabun Road
Bay Minette, AL 36507
Phone (251)937-2086



LEGEND:

B.S.L. = BUILDING SETBACK LINE	EM = ELECTRIC METER
(A & R) = ACTUAL & RECORD BEARING/DISTANCE	GT = GREASE TRAP
(R) = RECORD BEARING/DISTANCE	DM = DRAIN MANHOLE
CRS = CAPPED REBAR SET (26014 S)	GI = GRATE INLET
CRF = CAPPED REBAR FOUND	TP = TELEPHONE PEDESTAL
CTIF = CRIMP TOP IRON FOUND	SM = SEWER MANHOLE
CMF = CONCRETE MONUMENT FOUND	FOM = FIBER OPTIC MARKER
PKNF = PK NAIL FOUND	WF = WOOD FENCE
—+— = SIGN	OP = OVERHEAD POWER LINE
—○— = LIGHT POLE	WM = WATER MAIN
—v— = WATER MAIN	GM = GAS MAIN
—x— = POWER POLE	SFM = SEWER FORCE MAIN
— — = GUY WIRE ANCHOR	SGM = SEWER GRAVITY MAIN
—W— = WATER METER	
—G— = GAS METER	

CERTIFICATION OF APPROVAL FOR RECORDING:
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE BAY MINETTE LAND USE AND DEVELOPMENT ORDINANCE AND THAT IT HAS BEEN APPROVED FOR THE RECORDING IN THE OFFICE OF THE BALDWIN COUNTY JUDGE OF PROBATE.

DATED THIS _____ DAY OF _____

PLANNING COMMISSION CHAIRMAN, OR HIS AUTHORIZED REPRESENTATIVE

CERTIFICATION BY OWNERSHIP AND DEDICATION:
 THIS IS TO CERTIFY THAT I (WE) THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND SHOWN AND DESCRIBED IN THE PLAT, AND THAT I (WE) HAS (HAVE) CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED.

DATED THIS _____ DAY OF _____

OWNER

CERTIFICATION BY NOTARY PUBLIC:
 STATE OF _____
 COUNTY OF _____

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY OF _____, IN THE STATE OF _____ DO CERTIFY THAT WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE CERTIFICATION OF OWNERSHIP AND DEDICATION, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT HE (THEY) SIGNED, SEALED AND DELIVERED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT HE (THEY) SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT HIS (THEIR) FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTORIAL SEAL

THIS _____ DAY OF _____

NOTARY PUBLIC _____ MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATE
 I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

LOT 3, HOOPER'S CORNER, AS SHOWN BY MAP OR PLAT THEREOF RECORDED IN MAP BOOK 12, PAGE 137, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

AND
 LOTS 3 AND 4, HOOPER'S COMMERCIAL PARK, AS SHOWN BY MAP OR PLAT THEREOF RECORDED AT SLIDE 2692-C, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

AND
 THE EAST HALF OF THE VACATED PORTION OF McMEANS AVENUE AS RECORDED AT INSTRUMENT 1804977

AND
 THE SOUTH HALF OF THE VACATED PORTION OF WEST 2ND STREET AS RECORDED AT INSTRUMENT 1804978

(DESCRIPTION COMPOSED FROM PROBATE RECORDS AND AN ACTUAL FIELD SURVEY)

DAVID E DIEHL AL. P.L.S. NO. 26014 DATE _____

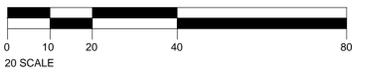
SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.



BAY MINETTE BY-PASS
120 FT. R/W



- SURVEYOR'S NOTES:**
1. THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
 2. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
 3. THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
 4. SURVEY WAS CONDUCTED ON OCTOBER, 2019, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
 5. BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES, AND ARE BASED ON STATE PLANE GRID, ALABAMA WEST ZONE USING GPS OBSERVATIONS.
 6. THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, EFFECTIVE JANUARY 1, 2017.



BOUNDARY & PLAT OF SUBDIVISION
 OUT OF THE BOX VENTURES LLC



DRAWN	DED
CHKD.	DED
PROJ MGR	DED
SCALE	1"=20'
PROJECT	20190546
FILE	20190546TOPO
SHEET	1 OF 1

HOOPER'S REPLAT
 A REPLAT OF LOT 3, HOOPER'S CORNER SUBDIVISION (MB 12, PG 137) AND LOT 3 & 4, HOOPER'S COMMERCIAL PARK (SLIDE 2692-C) AND THE EAST 1/2 OF VACATED PORTION OF McMEANS AVENUE (INS 1804977) AND THE SOUTH 1/2 OF VACATED PORTION OF WEST 2ND STREET (INS 1804978)

PARKING DATA

PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (1.25 SPACES/4 SEATS) =	12
TOTAL PROVIDED =	22

LAND USAGE

DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	0.79 ACRES	--
BUILDING AREA (UNDER ROOF)	0.06 ACRES	7.59%
IMPERVIOUS PAVING	0.46 ACRES	58.23%
PERVIOUS PAVING	0.00 ACRES	0.00%
GRASSED/LANDSCAPED AREA	0.27 ACRES	34.18%

SITE ANALYSIS

SITE ACREAGE (PROPOSED)	BUILDING HEIGHT	BUILDING (UNDER ROOF)
±0.79 AC (34,400 SF)	22 FT	2,645 SF
REQUIRED PARKING 12 SPACES (SEE PARKING DATA)	PROVIDED PARKING 22 SPACES	
JURISDICTION CITY OF BAY MINETTE	ZONING B-2	
IMPERVIOUS AREA 0.52 AC (65.82%)	PERVIOUS AREA 0.27 AC (34.18%)	
BUILDING SETBACKS:	REQUIRED:	
FRONT YARD:	30 FT	
SIDE YARD:	0 FT	
REAR YARD:	20 FT	
MAXIMUM BUILDING HEIGHT:	35'	
MAX. GROUND COVERAGE RATIO:	0.85	
MAX. DENSITY:	N/A	

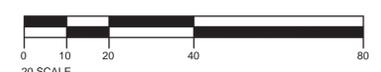
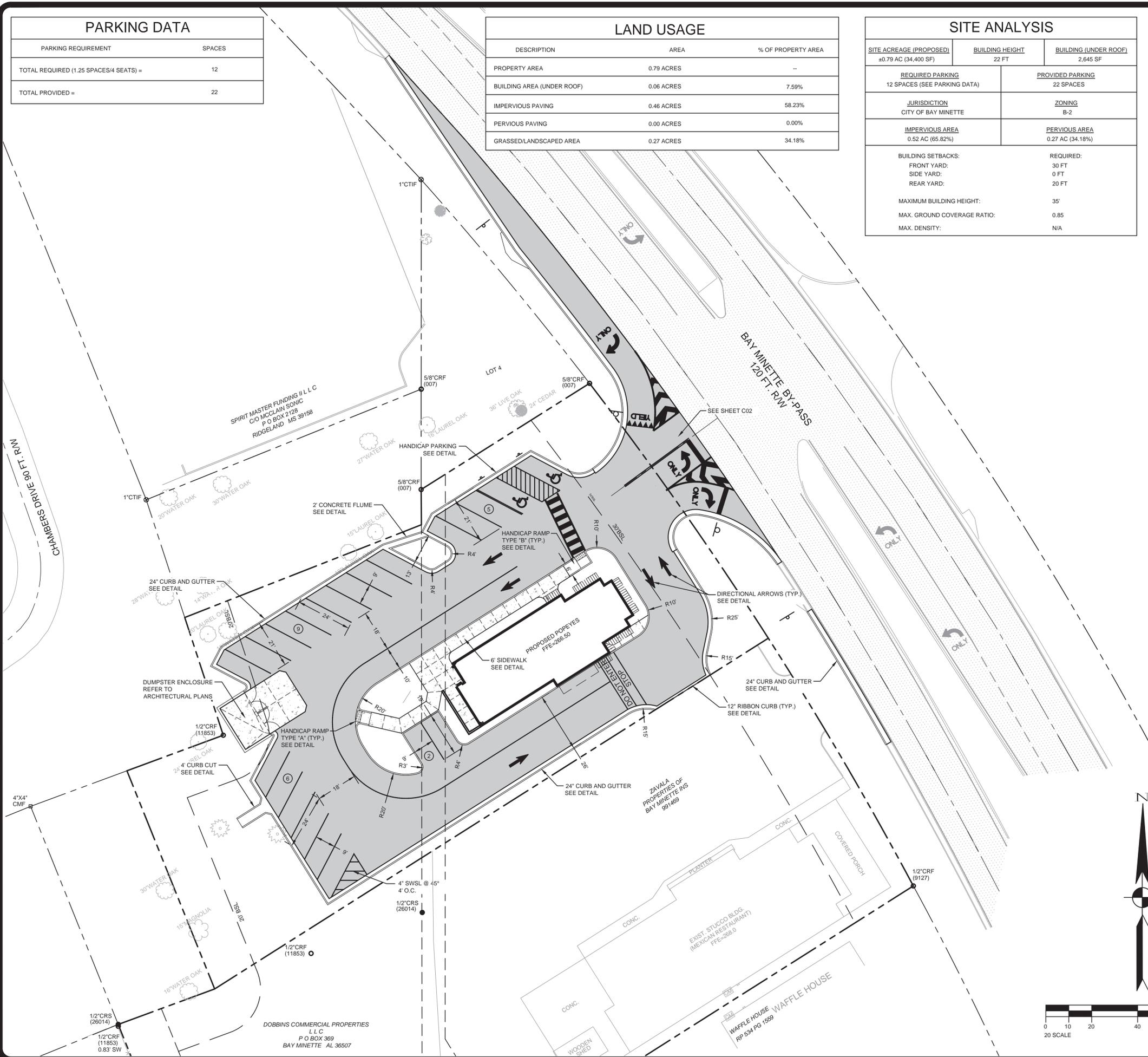
SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF BAY MINETTE REGULATIONS AND CODES AS WELL AS O.S.H.A. AND ALOD STANDARDS.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED.
- ALL CURBED OR STRIPED RADII ARE TO BE 4' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITH THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
- REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS AND ISLAND DETAILS.
- PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
- CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSI.
- HANDICAP RAMPS AND PARKING STALLS SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
- THIS SITE IS ZONED B-2.
- TOTAL SITE ACREAGE = 0.79 ACRES.
- NOTIFY CITY OF BAY MINETTE INSPECTIONS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- ALL STRIPING IN R.O.W. TO BE CLASS A TYPE 2 THERMOPLASTIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED R.O.W. AND MUST BE STORED WITHIN THE SITE.
- DURING CONSTRUCTION, ACCESS ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED. THE WIDTH OF THE ACCESS ROADWAY, DURING CONSTRUCTION, SHALL BE 20 FT PER STANDARD FIRE PREVENTION CODE, LATEST EDITION.
- ALL NON-HANDICAP PARKING SPACE LINES WILL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION. REFERENCE THE SIGN CODES CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAVEMENT MARKINGS, REFERENCING DETAILS IN ALOD'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
- NO "PROTECTED TREES" WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
- FIRE LANES AND SIGNAGE TO MEET REQUIREMENTS OF NFPA 1 CHAPTER 18.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE, INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES ON SITE AND TO ADJACENT PROPERTIES.
- PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, ELEVATION AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
- CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES; PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL PLANS FOR THE COLUMN GRID LAYOUT AND INFORMATION REQUIRED TO LAYOUT THE BUILDING WITHIN THE FOUNDATIONS.

SITE PLAN LEGEND

EXISTING		PROPOSED
	TRAFFIC CONTROL ARROW	
	CURB & GUTTER	
	HEADER CURB	
	REBBIION CURB	
	STANDARD PARKING QUANTITY	
	ACCESSIBLE PARKING SPACE	
	PERVIOUS CONCRETE PAVING	
	CONCRETE PAVING	
	MEDIUM DUTY ASPHALT PAVING	

X' SYSL - X' WIDE SINGLE YELLOW SOLID LINE
 X' DYSL - X' WIDE DOUBLE YELLOW SOLID LINE
 X' SWSL - X' WIDE SINGLE WHITE SOLID LINE



SITE PLAN



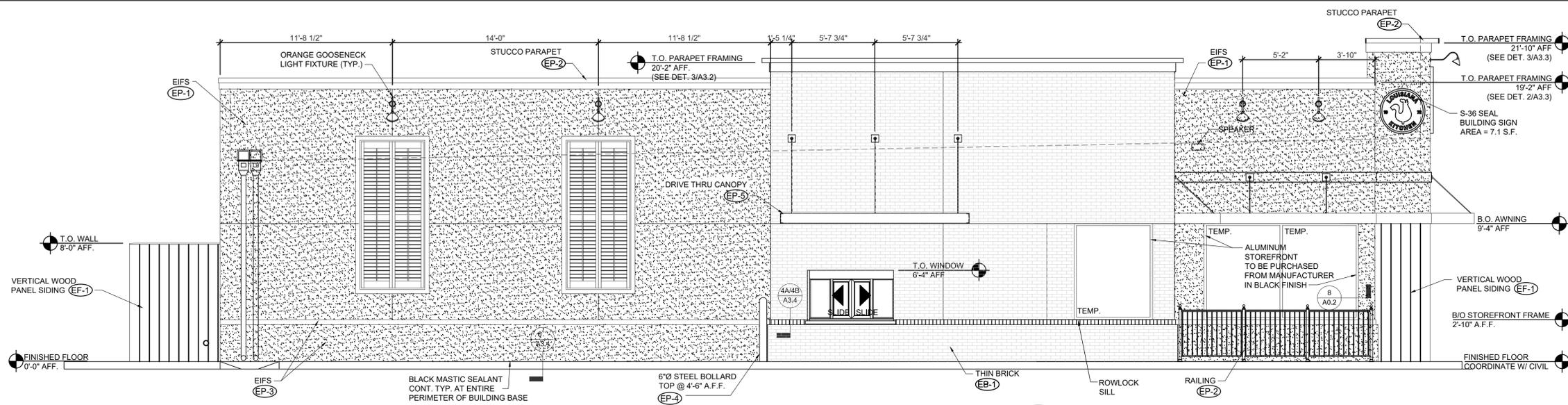
JOB No. 20190546 DATE 11/23/20

DRAWN JRB SCALE 1"=20'

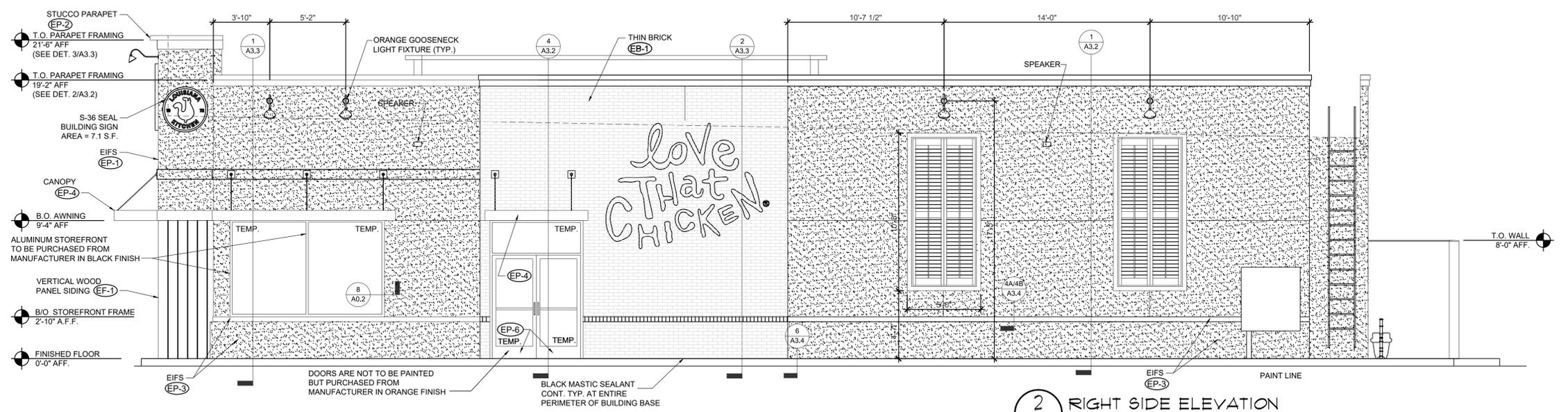
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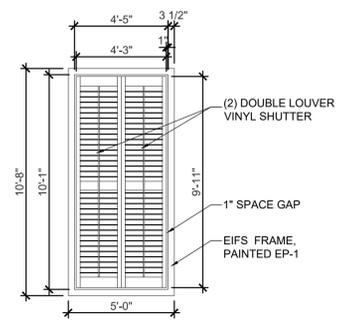




1 LEFT SIDE ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



EXTERIOR FINISH NOTES	
STO COLORS	
OC-125 - MOONLIGHT WHITE	
2086-10 - EXOTIC RED	
HC-170 - STONINGTON GREY	
DRYVIT COLORS	
2120 - BLACK IRON	
E.I.F.S. WALL TEXTURE FINISH	
Manuf.	Texture
STO	STO ESSENCE SWIRL
DRYVIT	QUARTZ PUTZ
FINISH NOTES	
THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:	
* STANDING SEAM ROOF	
* CLEARANCE BAR	
* MENU CANOPY	
* GUARD RAIL	
* AWNINGS	
* SHUTTERS	
* DUMPSTER GATES	
* EXTERIOR LADDER	

SPECIFICATIONS

SECTION TITLE
ALUMINUM - FRAMED ENTRANCES AND STOREFRONTS YKK AP PRODUCT SERIES YKK AP YES 45 FS/FI SERIES

PART 1 GENERAL

1. SECTION INCLUDES: ALUMINUM STOREFRONT, INCLUDING:

1.1. YKK AP SERIES YES 45 FI STOREFRONT SYSTEM (INSULATING GLAZING)

1. RELATED SECTIONS:

1.1. SINGLE SOURCE REQUIREMENT: ALL PRODUCTS LISTED BELOW SHALL BE BY THE SAME MANUFACTURER.

2. SYSTEM PERFORMANCE DESCRIPTION

2.1. PERFORMANCE REQUIREMENTS: PROVIDE ALUMINUM STOREFRONT SYSTEMS THAT COMPLY WITH PERFORMANCE REQUIREMENTS INDICATED, AS DEMONSTRATED BY TESTING MANUFACTURER'S ASSEMBLIES IN ACCORDANCE WITH TEST METHOD INDICATED.

2.2. AIR INFILTRATION: WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT DIFFERENTIAL STATIC PRESSURE OF 6.24 PSF (299 PA), COMPLETED STOREFRONT SYSTEMS SHALL HAVE MAXIMUM ALLOWABLE INFILTRATION OF:

2.2.1. 0.06 CFM/FT² (1.10 M³/H · M²) FOR YES 45 FI SYSTEMS.

2.3. WATER INFILTRATION: NO UNCONTROLLED WATER WHEN TESTED IN ACCORDANCE WITH ASTM E 331 AT TEST PRESSURE DIFFERENTIAL OF:

2.3.1. 10 PSF (479 PA) FOR YES 45 FI SYSTEMS. (OR WHEN REQUIRED, FIELD TESTED IN ACCORDANCE WITH AAMA 503). FASTENER HEADS MUST BE SEATED AND SEALED AGAINST SILL FLASHING ON ANY FASTENERS THAT PENETRATE THROUGH THE SILL FLASHING.

2.4. WIND LOADS: COMPLETED STOREFRONT SYSTEM SHALL WITHSTAND WIND PRESSURE LOADS NORMAL TO WALL PLANE INDICATED.

2.4.1. EXTERIOR WALLS:

2.4.1.1. POSITIVE PRESSURE: PER LOCAL CODE.

2.4.1.2. NEGATIVE PRESSURE: PER LOCAL CODE.

2.4.1.3. INTERIOR WALLS (PRESSURE ACTING IN EITHER DIRECTION): PER LOCAL CODE.

2.5. DEFLECTION: MAXIMUM ALLOWABLE DEFLECTION IN ANY MEMBER WHEN TESTED IN ACCORDANCE WITH ASTM E 330 WITH ALLOWABLE STRESS IN ACCORDANCE WITH AA SPECIFICATIONS FOR ALUMINUM STRUCTURES.

2.5. DEFLECTION: MAXIMUM ALLOWABLE DEFLECTION IN ANY MEMBER WHEN TESTED IN ACCORDANCE WITH ASTM E 330 WITH ALLOWABLE STRESS IN ACCORDANCE WITH AA SPECIFICATIONS FOR ALUMINUM STRUCTURES.

2.5. DEFLECTION: MAXIMUM ALLOWABLE DEFLECTION IN ANY MEMBER WHEN TESTED IN ACCORDANCE WITH ASTM E 330 WITH ALLOWABLE STRESS IN ACCORDANCE WITH AA SPECIFICATIONS FOR ALUMINUM STRUCTURES.

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QUALITY ASSURANCE

1. QUALIFICATIONS:

1.1. INSTALLER QUALIFICATIONS: INSTALLER EXPERIENCED (AS DETERMINED BY CONTRACTOR) TO PERFORM WORK OF THIS SECTION WHO HAS SPECIALIZED IN THE INSTALLATION OF WORK SIMILAR TO THAT REQUIRED FOR THIS PROJECT. IF REQUESTED BY OWNER, SUBMIT REFERENCE LIST OF COMPLETED PROJECTS. PRE-INSTALLATION MEETINGS: CONDUCT PRE-INSTALLATION MEETING TO VERIFY PROJECT REQUIREMENTS, SUBSTRATE CONDITIONS, MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND MANUFACTURER'S WARRANTY REQUIREMENTS.

3. PROJECT CONDITIONS / SITE CONDITIONS:

3.1. FIELD MEASUREMENTS: VERIFY ACTUAL MEASUREMENTS / OPENINGS BY FIELD MEASUREMENTS BEFORE FABRICATION; RETAIN RECORDED MEASUREMENTS ON SHOP DRAWINGS. COORDINATE FIELD MEASUREMENTS, FABRICATION SCHEDULE WITH CONSTRUCTION PROGRESS TO AVOID CONSTRUCTION DELAYS.

4. WARRANTY

4.1. PROJECT WARRANTY: REFER TO "CONDITIONS OF THE CONTRACT" FOR PROJECT WARRANTY PROVISIONS.

4.2. MANUFACTURER'S WARRANTY: SUBMIT, FOR OWNER'S ACCEPTANCE, MANUFACTURER'S STANDARD WARRANTY DOCUMENT EXECUTED BY AN AUTHORIZED COMPANY OFFICIAL.

4.3. WARRANTY PERIOD: MANUFACTURER'S ONE (1) YEAR STANDARD WARRANTY COMMENCING ON THE SUBSTANTIAL DATE OF COMPLETION FOR THE PROJECT PROVIDED THAT THE WARRANTY, IN NO EVENT, SHALL START LATER THAN SIX (6) MONTHS FROM THE DATE OF SHIPMENT BY YKK AP AMERICA INC. EDITOR NOTE: LONGER WARRANTY PERIODS ARE AVAILABLE AT ADDITIONAL COST.

5. PART 2 PRODUCTS

5.1. MANUFACTURERS (ACCEPTABLE MANUFACTURERS/PRODUCTS)

5.2. ACCEPTABLE MANUFACTURERS: YKK AP AMERICA INC.

5.3. STOREFRONT SYSTEM: YKK AP YES 45 FI STOREFRONT SYSTEM.

6. COLORS: AS SPECIFIED BY POPEYES LOUISIANA KITCHEN.

INSTALLATION

1. GENERAL: INSTALL MANUFACTURER'S SYSTEM IN ACCORDANCE WITH SHOP DRAWINGS, AND WITHIN SPECIFIED TOLERANCES.

1.1. PROTECT ALUMINUM MEMBERS IN CONTACT WITH MASONRY, STEEL, CONCRETE, OR DISSIMILAR MATERIALS USING NYLON PADS OR BITUMINOUS COATING.

2. SHIM AND BRACE ALUMINUM SYSTEM BEFORE ANCHORING TO STRUCTURE.

SECTION 8D: GLAZING

GENERAL PROVISIONS

1. SCOPE: FURNISH AND INSTALL GLASS IN STOREFRONT AND DRIVE-THRU SERVICE WINDOW.

MATERIALS

1. TYPE: SOLAR CONTROL LOW-E CLEAR INSULATING GLASS "SOLARBAN 60 (2) CLEAR + CLEAR BY VITRO ARCHITECTURAL GLASS.

1.1. OUTDOOR LITE: CLEAR GLASS, SPUTTER COATED ON SECOND SURFACE (2)

1.2. INDOOR LITE: CLEAR (TRANSPARENT) FLOAT GLASS.

1.3. LOW-E COATING: "SOLARBAN" 60 SOLAR CONTROL (SPUTTERED) BY VITRO ARCHITECTURAL GLASS

LOCATION: SECOND SURFACE (2)

2. PERFORMANCE VALUES:

2.1. VISIBLE LIGHT TRANSMITTANCE: 70%

2.2. U-VALUE WINTER: 0.29

2.3. U-VALUE SUMMER: 0.27

2.4. SHGC: 0.39

2.5. SHADING COEFFICIENT: 0.45

2.6. OUTDOOR VISIBLE LIGHT REFLECTANCE: 11%

APPROVED MANUFACTURERS:
VITRO CERTIFIED FABRICATOR REQUIRED
CERTIFICATION: BOTH LITES TO BE CRADLE TO CRADLE CERTIFIED™, MINIMUM BRONZE LEVEL, BY CRADLE TO CRADLE PRODUCT INNOVATION INSTITUTE (WWW.C2CCERTIFIED.ORG).

OUTDOOR APPEARANCE: CLEAR
INSULATING UNIT CONSTRUCTION: 1/4" (6MM) GLASS + 1/2" (13MM) AIR SPACE + 1/4" (6MM) GLASS

POPEYES LOUISIANA KITCHEN NEW CONSTRUCTION AND REIMAGING				EXTERIOR FINISH SCHEDULE	
Mark	Location	Supplier / Manuf.	Material	Specification	Color
EP-1	MAIN WALL SURFACE ABOVE WAINSCOT ACCENT TRIM	BENJAMIN MOORE	EXTERIOR PAINT	OC-125 MOONLIGHT WHITE	WHITE
EP-2	PARAPET TRIM			2120-20 BLACK IRON	BLACK
EP-3	WAINSCOT ACCENT TRIM AND BELOW			HC-170 STONINGTON GREY	GRAY
EP-4	CANOPY, BOLLARDS, PYLON POLE AND DIRECTIONAL SIGN POLES	BENJAMIN MOORE	EXTERIOR PAINT	2086-10 EXOTIC RED	RED
EP-5	DRIVE THRU WINDOW CANOPY			METAL PAINT	PRIMER B66-310 ACRYLIC B66-600
EP-7	DUMPSTER WALLS	BENJAMIN MOORE	EXTERIOR PAINT	HC-170 STONINGTON GREY	GRAY
EP-7	DUMPSTER GATES			PRIMER B66-310 ACRYLIC B66-600	FACTORY FINISH BLACK
EP-8	ALL EXTERIOR WALLS			EXTERIOR PAINT	ALIPHATIC ACRYLIC URETHANE CLEAR GLOSS
EF-1	EXTERIOR WALLS	NICHIHA	WOODEN SIDING PANEL	VNTAGE WOOD	CEDAR
EB-1	EXTERIOR TOWERS	DESIGN AND DIRECT SOURCE	BRICK	ARCHITECTURAL URBAN SERIES	FLAGSTAFF

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, CHECK AND COORDINATE ALL DIMENSIONS AND REQUIRED MAIN FLOOR ELEVATION NOTIFY ARCHITECT/OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE USE OR REUSE OF THESE DRAWINGS WITHOUT WRITTEN APPROVAL BY ARCHITECT/OWNER IS PROHIBITED.

G. MARK PEPE
ARCHITECT P.C.
307 W. ADAMS ST.
DOTHAN, AL
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(934) 712-9721
FAX NO.
(934) 699-2026
LICENSE #
4496



OWNER
M&B INT.
SPENCER MARKS
3317 PARADISE DR.
ALEXANDRIA, LA.
71301
TELEPHONE NO.
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FAX NO.
(504) 445-5932

POPEYES
RESTAURANT & BAR

A NEW RESTAURANT FACILITY FOR
POPEYES LOUISIANA KITCHEN
201 MCMEANS AVE., BAY MINETTE, AL 36507

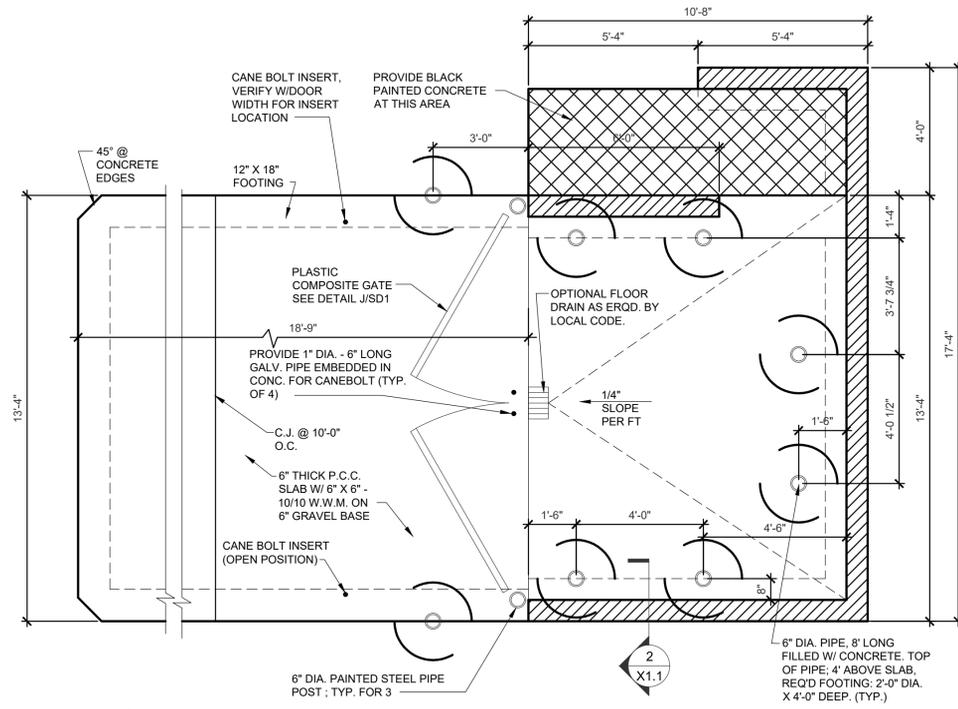
REVISIONS

FOR PERMITS

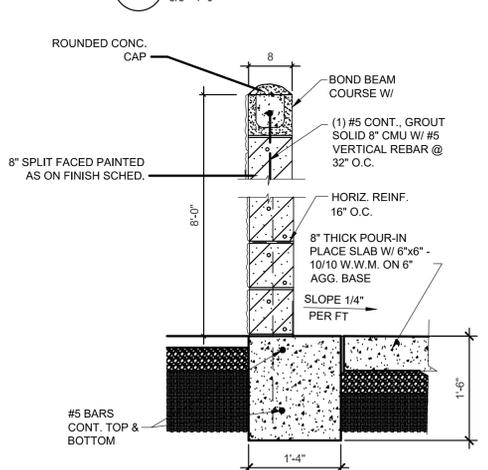
FOR PRICING

CLIENT REVIEW

DRAWN BY:
JW/CG/MP
PLOT DATE
11-24-20
PROJ. DATE
11-24-20
SHEET
A2.2 OF 21
JOB No.
19025



1 DUMPSTER ENCLOSURE
X1.1 3/8"=1'-0"



2 DUMPSTER WALL SECTION
X1.1 3/8"=1'-0"

FLAT PANEL CANOPY SPECIFICATIONS

FASCIA to be .050 gauge aluminum 3" wide by 6 1/2" deep, shaped to form gutter for run-off 3" deep.

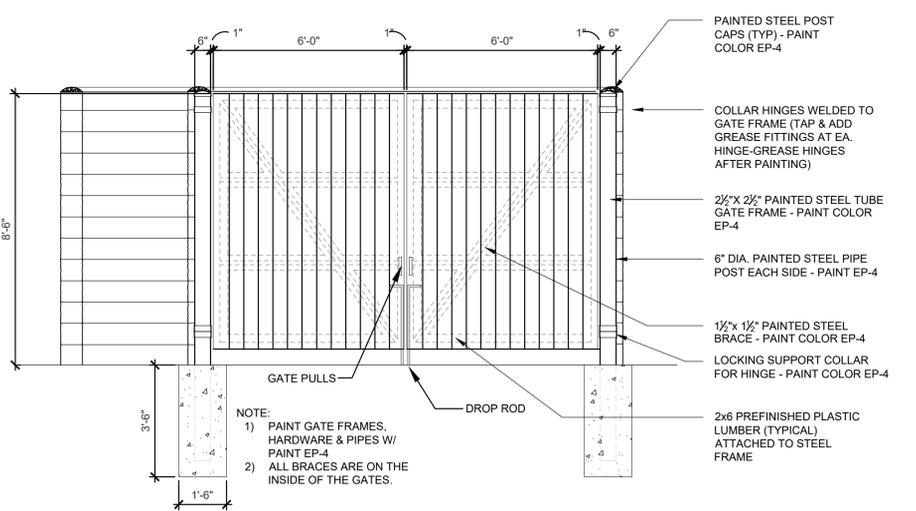
ROOF DECKING to be .024 thickness aluminum flat panels finished with two coats of baked-on enamel guaranteed not to peel, blister or flake for a period of ten years from date of installation. Panels to be locked together with standing snap-lock seams and fastened on each end with 8 x 1/2" cadmium-plated drill-point screws.

BEAMS to be 2" x 4" x .060 aluminum rectangular tubing.

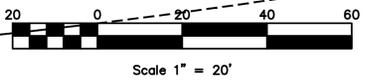
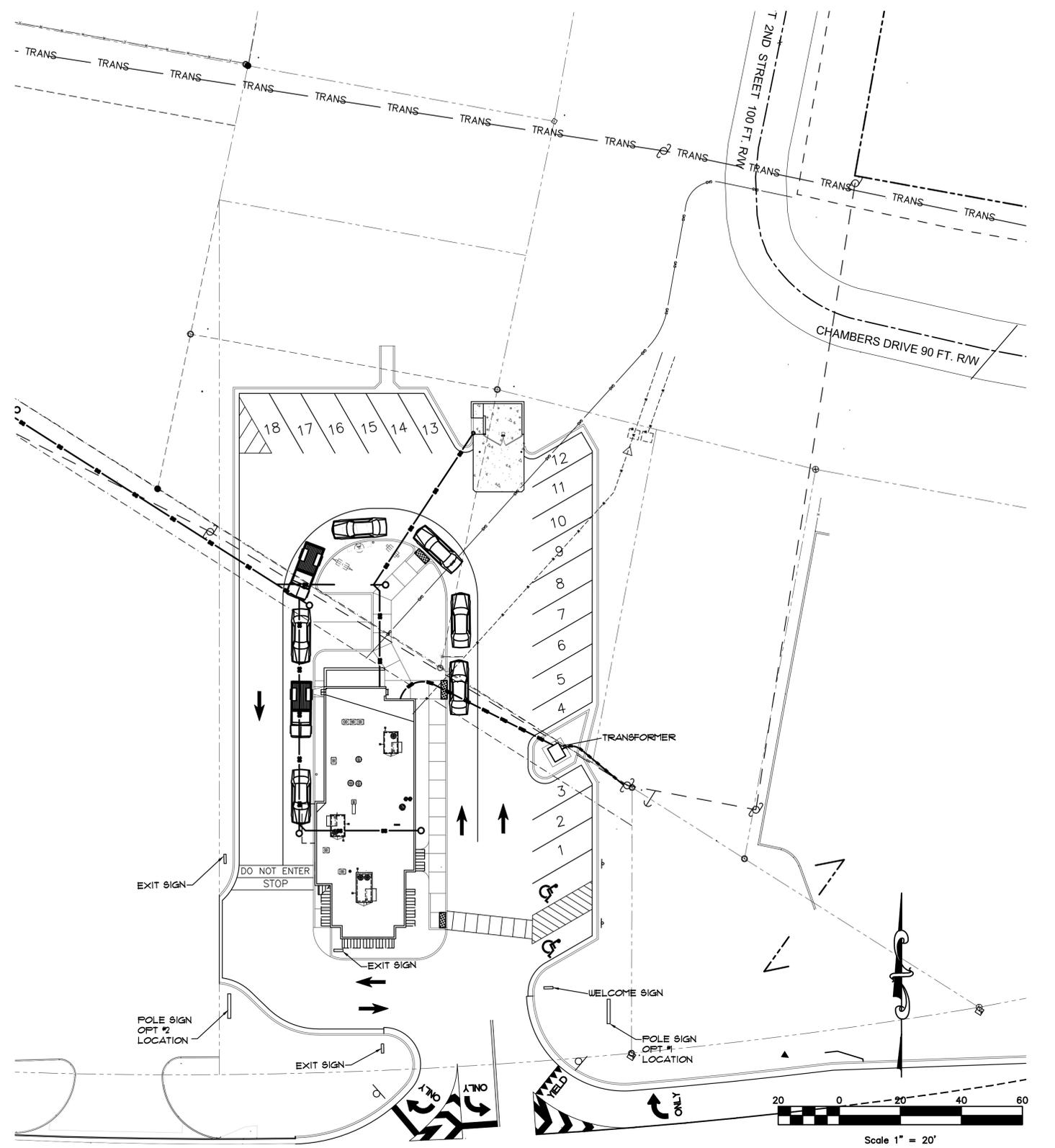
3" x 3" x .125 fluted posts to be used on covers.

DECKING COLOR: Bronze

EXTRUSION COLOR: Bronze



3 DUMPSTER GATE/ENCLOSURE
X1.1 3/8"=1'-0"



- NOTES:**
- CONTRACTOR SHALL RETAIN AND PROTECT ALL EXISTING UTILITIES, AND STORM DRAINAGE STRUCTURES.
 - DIMENSIONS ARE TO FACE OF CURB, OUTSIDE EDGE OF BUILDING, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
 - PRIOR TO ANY SITE WORK CONSTRUCTION, VERIFY THE BUILDING DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.
 - PRIOR TO SITE PAVING, COORDINATE THE PLACEMENT OF CONCRETE ELECTRICAL PADS, HVAC PADS, DUCTS, IRRIGATION CHASES, AND AREA LIGHTING WITH ARCHITECTURAL DRAWINGS & THE OWNER.

PLAN - SITE LAYOUT w/ UTILITIES

SCALE: 1" = 20'-0"

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POPEYES
LOUISIANA KITCHENS

A NEW RESTAURANT FACILITY FOR
POPEYES LOUISIANA KITCHEN
201 MCMEANS AVE. BAY MINETTE, AL 36507

REVISIONS

NO.	DATE	DESCRIPTION

FOR PERMITS

FOR PRICING

CLIENT REVIEW

DRAWN BY:
JW/SW/MP

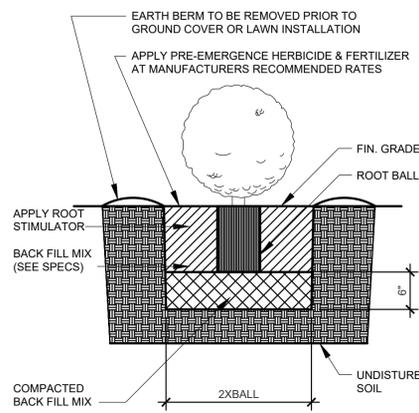
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11-24-20

PROJ. DATE
11-24-20

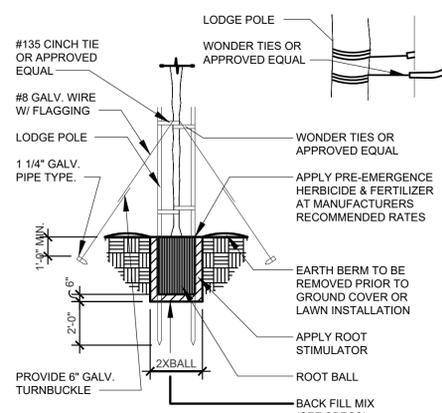
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X1.1 of 1

JOB No.
19029

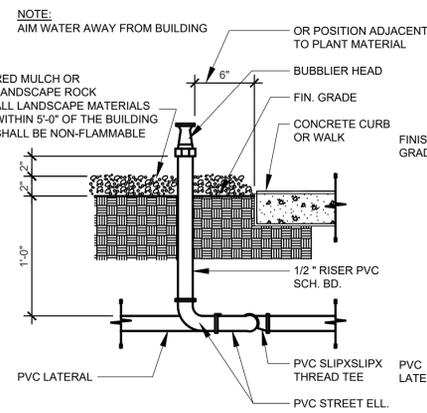
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, CHECK AND COORDINATE ALL DIMENSIONS AND REQUIRED MINIMUM CLEARANCES WITH THE ARCHITECT/OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE USE OR REUSE OF THESE DRAWINGS WITHOUT WRITTEN APPROVAL BY ARCHITECT/OWNER IS PROHIBITED.



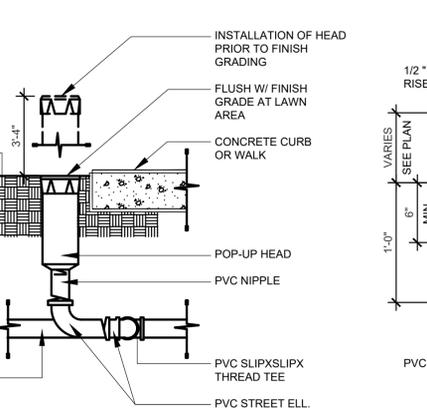
1 SHRUB PLANTING
X1.3 3/8"=1'-0"



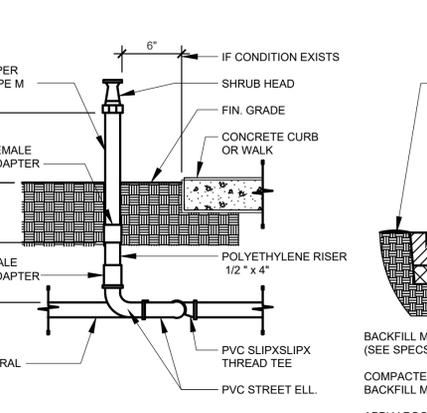
2 TREE STAKING
X1.3 3/8"=1'-0"



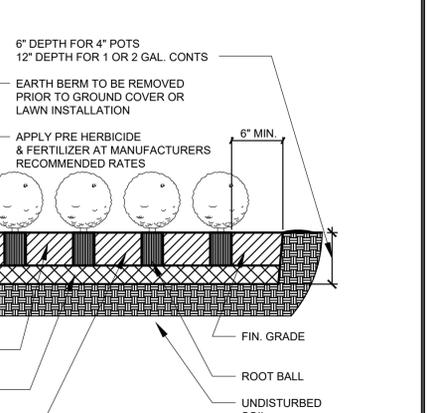
3 BUBBLER HEAD
X1.3 3/8"=1'-0"



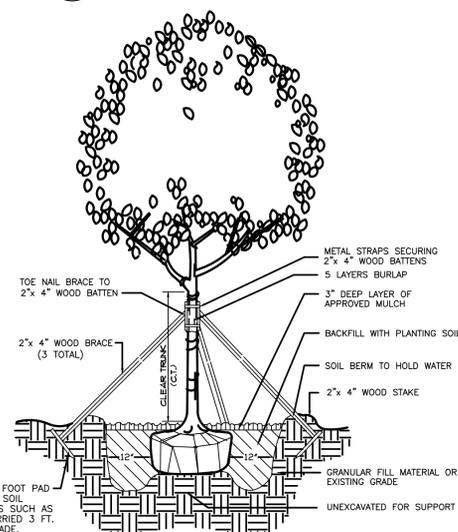
4 POP-UP LAWN SHRUB HEAD
X1.3 3/8"=1'-0"



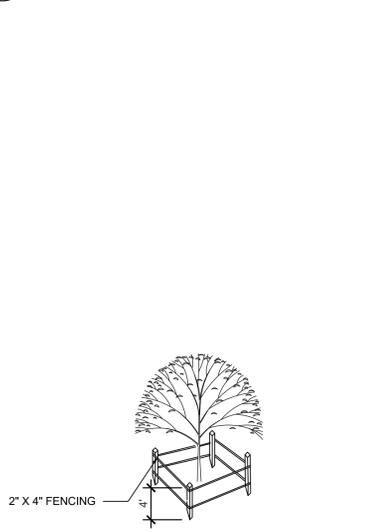
5 SHRUB HEAD RISER
X1.3 3/8"=1'-0"



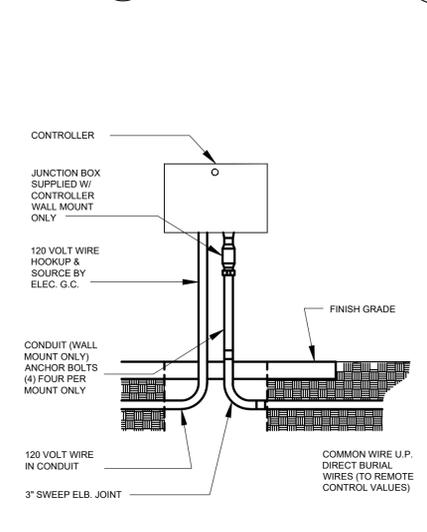
6 GROUND COVER PLANTING
X1.3 3/8"=1'-0"



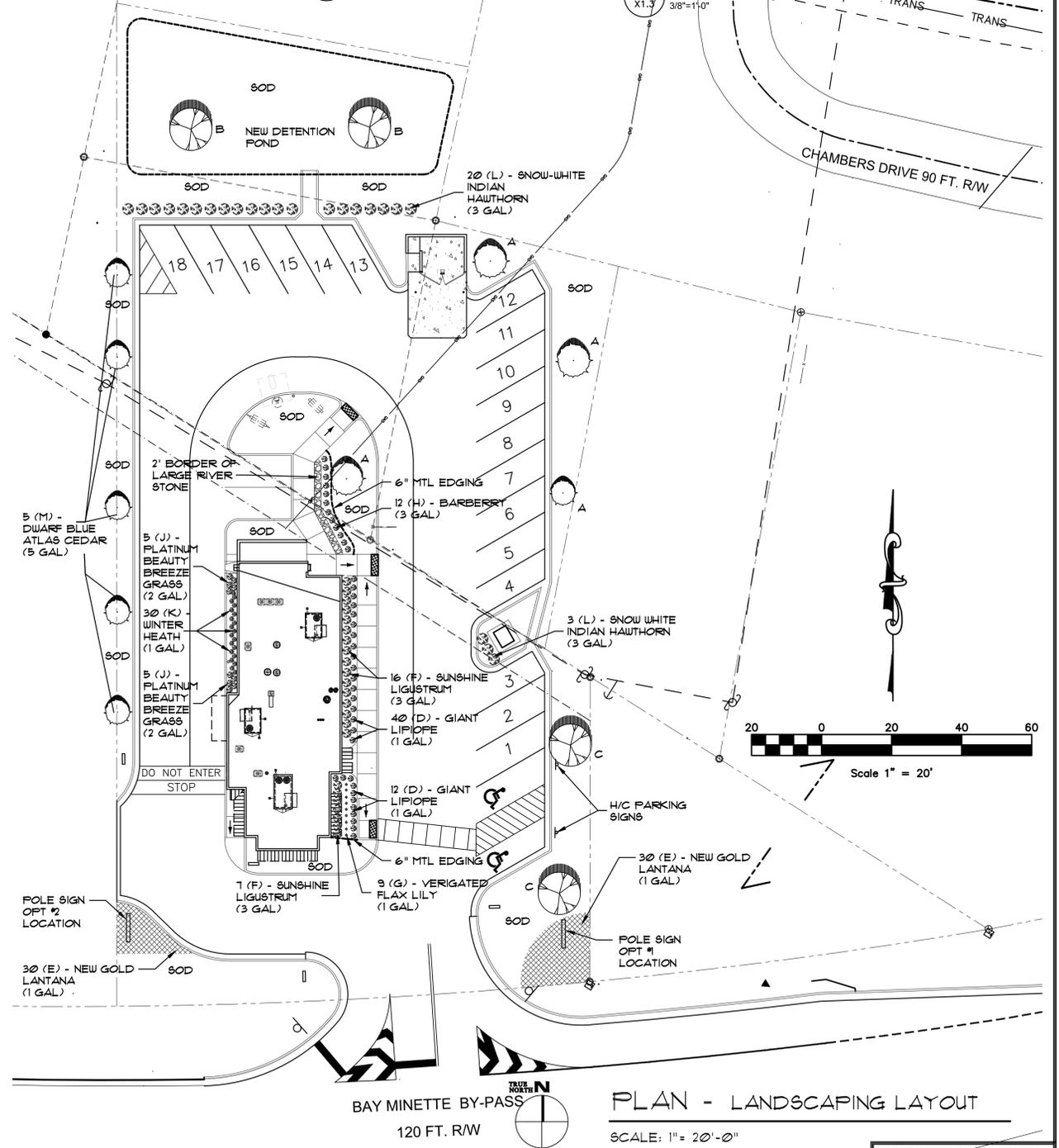
7 TREE PLANTING DETAIL
X1.3 N.T.S.



7a TREE BARRIERS DETAIL
X1.3 3/8"=1'-0"



8 IRRIGATION CONTROLLER DETAIL
X1.3 3/8"=1'-0"



PLAN - LANDSCAPING LAYOUT
SCALE: 1" = 20'-0"

LANDSCAPING SCHEDULE			
SYMBOL	SPECIES	SIZE	QTY.
A	CREPE MYRTLE(MULTI)	2" DIA. 8' TALL	3
B	BALD CYPRESS	2" DIA. 8' TALL	2
C	RIVER BIRCH	2" DIA. 6' TALL	2
D	GIANT LIPILOPE(VER)	1 GALLON	52
E	NEW GOLD LANTANA	1 GALLON	60
F	SUNSHINE LIGUSTRUM	3 GALLON	23
G	VERIGATED FLAX LILY	1 GALLON	9
H	BARBERRY	3 GALLON	12
J	PLATINUM BEAUTY BREEZE GRASS	2 GALLON	10
K	WINTER HEATH	1 GALLON	30
L	SNOW WHITE INDIAN HAUTHORN	3 GALLON	23
M	DWARF BLUE ATLAS CEDAR	10 GALLON	5
	CENTPEDE SOD / GROUNDCOVER	AS REQUIRED	

SITE - LANDSCAPING NOTES

- DRAWING INDICATES SITE INTERIOR GREEN SPACE (SOD AND/OR PLANTING BEDS) ALL BEDS & AREAS TO BE TREATED W/ PRE-EMERGENT & COVERED W/ WEEDBLOCK FABRIC, MULCH ALL TREES, SHRUBS, & BEDS W/ COLORED PINE STRAW OR APPROVED ALTERNATE.
- FULLY AUTOMATIC IRRIGATION SYSTEM W/ BELOW GRADE PIPING & AUTOMATIC CONTROLS TO BE PROVIDED BY LANDSCAPING CONTRACTOR. SYSTEM DESIGNED & INSTALLED FOR FULL COVERAGE OF ALL LANDSCAPED AREAS.
- NO WORK SHALL BE PERFORMED IN STATE OR CITY ROW, WITHOUT WRITTEN PERMISSION FROM GOVERNING AUTHORITY. ALL AREAS IN ROW, DISTURBED BY CONSTRUCTION SHALL BE SODDED & HAND WATERED UNTIL ESTABLISHED.

TREE PROTECTION NOTES:

- DURING CONSTRUCTION PROTECTIVE BARRIERS SHALL BE PLACED BY THE SITE CONTRACTOR TO PREVENT DESTRUCTION OF TREES WHICH ARE DESIGNATED TO REMAIN. PROTECTIVE BARRIERS SHALL BE ERECTED PRIOR TO CONSTRUCTION OF ANY KIND ON THE SITE. BARRIERS
- SHALL CONSIST OF PROTECTIVE POSTS TWO (20) INCHES BY (4) FOUR INCHES OR LARGER, WOODEN POSTS PLANTED IN SUFFICIENT DEPTH TO BE STABLE WITH AT LEAST FOUR (4) FEET OF POST VISIBLE ABOVE THE GROUND. POSTS SHALL BE PLACED NO CLOSER THAN FIVE (5) FEET TO THE TRUNK UNLESS PROPOSED PAVING CONSTRUCTION WILL NOT APART. REFER TO TREE PROTECTION BARRIER DETAIL, EACH SECTION SHALL BE LINKED TOGETHER WITH LUMBER, EROSION FABRIC, NET OR PLASTIC FENCE MATERIAL.
- PROPOSED GRADES AROUND TREES TO REMAIN SHALL BE MAINTAINED TO WITHIN (4) FOUR INCHES OF THE EXISTING GRADE.
- CONTRACTOR SHALL NOTIFY ZONING DIRECTOR UPON COMPLETION OF THE TREE PROTECTION BARRIERS AND PRIOR TO REMOVAL OF EXISTING TREES FOR A SITE INSPECTION. ZONING DIRECTOR SHALL CONDUCT A FINAL INSPECTION ONCE THE EXISTING TREES ARE REMOVED THE 1 YEAR MAINTENANCE PERIOD SHALL BEGIN AFTER FINAL INSPECTION APPROVAL.
- THE CONTRACTOR SHALL FOLLOW TREE REMOVAL, TREE PROTECTION AND GENERAL PLANTING REQUIREMENTS AS DEFINED BY LOCAL JURISDICTION.
- PROTECTIVE BARRIER'S SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS CONSTRUCTION IS COMPLETE AND ALL EQUIPMENT IS REMOVED FROM SITE
- BARRIERS SHALL BE PLACED AT THE TREE CANOPY LINE EXCEPT ADJACENT TO THE PROPOSED CONSTRUCTION AREA WHERE IT MAY BE AT ONE HALF OF THE CANOPY DISTANCE ON ONE SIDE ONLY
- WHERE PERMITTED BY LOCAL JURISDICTION, CONTRACTOR MAY USE ORANGE PLASTIC SAFETY FENCING IN LIE OF WOOD FENCING.

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POPEYES
LOUISIANA KITCHENS

A NEW RESTAURANT FACILITY FOR
POPEYES LOUISIANA KITCHEN
201 MCMEANS AVE, BAY MINETTE, AL 36507

REVISIONS

NO.	DATE	DESCRIPTION

FOR PERMITS
FOR PRICING
CLIENT REVIEW

DRAWN BY:
JW/SW/MMP
PLOT DATE
11-24-20
PROJ. DATE
11-24-20
SHEET
X13 OF 50
JOB No.
19029