



# City of Bay Minette

## Planning Commission

301 D'Olive Street · Bay Minette, Alabama 36507  
Phone (251) 580-1650 · COBM\_Planning@cityofbayminetteal.gov

### AGENDA

October 13, 2022

Regular Meeting

8:00 a.m.

City Hall Council Chambers  
301 D'Olive Street, Bay Minette

- 1.) Call to Order
- 2.) Invocation and Pledge
- 3.) Announcements/Registration to Address the Commission
- 4.) Approval of Minutes for the September 8, 2022 Regular Meeting
- 5.) Disclosure of Prior Communications and/or Conflicts of Interest
- 6.) Old Business
  - a.) RA-2202, Proposed Subdivision Amendments
- 7.) New Business
  - a.) ES-22005, Lewis Property  
*Disclosure of Prior Communications and/or Conflict of Interest*  
*Request:* Subdivide the property from 1 (one) lot to 2 (two) lots  
*Location:* The subject property is located at the corner of Hall Ave and W 9<sup>th</sup> St
  - b.) SP-22004, 7 Brew Coffee Shop  
*Disclosure of Prior Communications and/or Conflict of Interest*  
*Request:* Site Plan approval for a drive-through coffee shop  
*Location:* The subject property is located at 131 McMeans Ave, between Popeye's Restaurant and Waffle House
  - c.) Upcoming Case Briefing
- 8.) Reports
  - a.) Mayor/Council
  - b.) Attorney
  - c.) Commissioner's Comments
  - d.) Planning Staff
- 9.) Adjournment

**\*\*Next Regular Meeting – November 10, 2022\*\***

# Bay Minette Planning Commission Regular Meeting Minutes

Minutes September 8, 2022

Monthly Meeting No. 8

The Bay Minette Planning Commission met in Regular Session on Thursday, September 8, 2022. The meeting was called to order at 8:10 a.m. by Chairman, Todd Stewart, in the Council Chambers located in Bay Minette City Hall, in Bay Minette, Alabama; this being the proper place, date and hour as advertised to hold such meeting.

**IN ATTENDANCE** At 8:10 a.m. the following members were present, and a quorum established:

Todd Stewart, Chairman  
Neal Covington, Vice-Chairman  
Robert A. "Bob" Wills, Mayor  
Rob Madison, Building Official  
Earl Emmons, Commission Member

Commission Members absent:

William Taylor, City Council/Commission Member  
Scotty Langham, Commission Member  
Ray Clark, Commission Member

Commission Members late:

Other persons in regular attendance:

Clair Dorough, City Planner  
Jessica Peed, Planning Coordinator  
Tammy Smith, City Administrator  
Scotty Lewis, City Attorney  
Steven Stewart, Fire Inspector  
Jason Padgett, NBU General Manger/CEO  
Kristina Pittman, North Baldwin Chamber of Commerce

**GUESTS** Ben White, P.E., Tensaw Engineering  
John Byrd, Tensaw Engineering

**INVOCATION** Chairman Stewart gave the invocation, followed by the pledge.

**ITEM 3.** Announcements/Registration to address the Commission

**ITEM 4.** Approval of the Minutes of the August 11, 2022, Regular meeting. Mayor Wills made a motion to approve the August minutes as written. The motion was seconded by Commission Member Emmons and is unanimously carried.

**ITEM 5.** Disclosure of Prior Communications and/or Conflicts of Interest

Chairman Stewart states Item 7.) New Business, will be moved before Item 6.) Old Business for consideration of the public's time.

**ITEM 7.A\*** New Business:

a.) SD-22002, Tensaw Engineering **\*\*PUBLIC HEARING\*\***  
*Disclosure of Prior Communications and/or Conflict of Interest*

*Request:* Minor Subdivision request to re-subdivide Dempsey Subdivision from one (1) lot to five (5) lots

*Location:* The subject property is located at the corner of Jaycee Rd and Hwy 59

Chairman Stewart introduces the request to re-subdivide the Dempsey Subdivision from 1 lot to 5 lots. Mrs. Dorough begins reviewing the history of the property including the rezoning that occurred in March of 2022 and the 3-lot subdivision in 2018. There is discussion on the current easement, egress and ingress to properties, acreage and contours, potential wetlands and flood zones, sewer and water connections and requirements, developer obligations regarding hydrants and water connections, site plan review and approval process for lot development(s). Chairman Stewart opened the Public Hearing at 8:38am. With no comments, Chairman Stewart closed the Public Hearing at 8:40am. With no further comments or questions, Mayor made a motion to approve the Preliminary/Final Plat of the Minor Subdivision from 1 lot into 5 lots. Vice Chairman Covington seconded, and it was unanimously approved. Ben White states there is an error regarding the sewer provider on the plat, as it should be North Baldwin Utilities, and Chairman Stewart includes the address for an adjacent property is also incorrect and the plat will need to be corrected before it can be signed.

ITEM 6.\* Old Business

a.) RA-2202 Proposed Amendments to the Subdivision Regulations **\*\*PUBLIC HEARING\*\***

Mrs. Dorough begins reviewing the proposed subdivision regulations including definitions, format and section alterations, procedural information, time limitations for approved subdivisions, RV regulations, and overall proposed changes to the types of subdivisions based on information that was viewed from various municipalities locally and nationally. There is a discussion on the proposed versions supplied to the Planning Commission for review, to which a discussion ensues on time sensitivity to adopt the new proposed regulations. With no further questions or comments, Chairman Stewart opened the Public Hearing at 9:18am. With no comments, Chairman Stewart closes the Public Hearing at 9:19am. After a brief discussion, it was requested to postpone adoption until the proposed changes can be further reviewed by the Commission. Mayor Wills made a motion to table the consideration of the proposed subdivision regulations until the next Planning Commission meeting. Commission Member Emmons seconds and it is unanimously carried.

ITEM 7.B\* New Business:

b.) Upcoming Case Briefing

Mrs. Dorough states a site plan approval application has been submitted for 7Brew Coffee Shop, which will be a drive through coffee restaurant. She also states that an Exempt Subdivision application was submitted for the Lewis property to subdivide from 1 lot to 2 lots. Mrs. Dorough also includes an update on the previous rezoning cases, stating that Z-22003 Peavy Property Rezoning was approved; Z-22005 Cowser Property Rezoning was withdrawn prior to being presented to City Council; and Z-22006 Thompson Commercial Properties Rezoning was approved by the City Council on first reading and will have the second reading for final approval on September 19th. She includes the remaining properties that surround the Thompson Properties located along D'Olive St are still zoned R-2, Medium Density Single Family Residential and this may need to be considered in the future for rezoning to more appropriate zoning designations.

ITEM 8. Reports:

a.) Mayor/Council Report – Mayor Wills begins by thanking the Planning Staff for the tremendous amount of work in preparing the proposed changes for the Subdivision Regulations. He also thanks Tammy Smith and the Liana Barnett, HR Director, on the recently approved salary restructuring for City employees. He also gave a brief update on the prior City Council meeting.

b.) Attorney - Scotty Lewis mentions a subdivision moratorium might be the best course of action in order to allow staff and the Commission proper time to thoroughly review the proposed amendment revisions and states the Public Hearing criteria has been met so a second Public Hearing will not be needed. Mayor Wills made the motion to implement a

moratorium on Subdivisions until the upcoming Planning Commission meeting on October 13, 2022. Vice Chairman Covington seconded, and it was unanimously carried.

c.) Commissioner – Chairman Stewart thanks the Planning Staff for the hard work on the proposed regulation amendments.

ITEM 9. With no further business Chairman Stewart adjourns the meeting at 9:30 am.

DONE THIS THE 8<sup>TH</sup> DAY OF SEPTEMBER 2022

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Chairman, Todd Stewart

ATTEST:

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Jessica Peed, Planning Coordinator

**Motion Summary:**

- 1.) *Minutes*: Approval of the Minutes of the August 11, 2022, Regular meeting. Mayor Wills made a motion to approve the August minutes as written. The motion was seconded by Commission Member Emmons and was unanimously carried.
- 2.) *SD-22002, Tensaw Engineering*: Chairman Stewart opened the Public Hearing at 8:38am and closed the Public Hearing at 8:40am. Mayor Wills made a motion to approve the Preliminary/Final Plat of the Minor Subdivision from 1 lot into 5 lots. Vice Chairman Covington seconded, and it was unanimously approved.
- 3.) *RA-2202 Proposed Amendments to the Subdivision Regulations – Motion 1*: Chairman Stewart opened the Public Hearing at 9:18am and closed the Public Hearing at 9:19am. Mayor Wills made a motion to table the consideration of the proposed subdivision regulations until the next Planning Commission meeting. Commission Member Emmons seconds and it is unanimously carried.
- 4.) *RA-2202 Proposed Amendments to the Subdivision Regulations – Motion 2*: Mayor Wills made the motion to implement a moratorium on Subdivisions until the upcoming Planning Commission meeting on October 13, 2022. Vice Chairman Covington seconded, and it was unanimously carried.

**\*\* RA-2202, Proposed Subdivision Amendments \*\***

**Included under separate cover due to size**



# City of Bay Minette

## Planning & Development Services

### PLANNING COMMISSION STAFF ANALYSIS

Meeting: October 13, 2022

Case Number: ES-22005

#### SUMMARY INFORMATION

Project Name: Re-Plat of Lot 3, Block 123 of Hand Land Company's Addition to the Town of Bay Minette  
 Property Location: Corner of Hall Ave and W 9<sup>th</sup> St  
 Property PID/PPIN: 05-23-02-09-2-000-108.001 // 78250

Current Property Size: .50± acres  
 Requested Action: Subdivide 1 lot into 2 lots  
 Applicant/Owner: Julie R. Lewis

Subject Property	Zoning	Existing Land Use
ES-22005	R-2	Vacant
Adjacent Property	Zoning	Existing Land Use
North	R-2	Residential
South	R-2	Residential
East	R-2	Residential
West	R-2	Residential

#### SITE AND REQUEST SYNOPSIS

The subject property, which consists of approximately .50± acres, has a zoning designation of R-2, Medium Density Single Family Residential. The request is a Re-Plat of Lot 3 of Block 123 of the Hand Land Company's Addition to the Town of Bay Minette. The proposal is to subdivide PIN# 78250 from one (1) parcel to two (2) parcels. The current parcel is 144'x150' and contains frontage on Hall Ave and W 9<sup>th</sup> St, which are both classified as local streets. The proposed lots will meet the minimum dimensional requirements for R-2 zoned lots and are sized in a manner to allow for compliance with R-2 building setbacks, including the 20' corner lot side yard setback requirement for Lot 3A. Both lots will front Hall Avenue with Lot 3A containing 79.89' of frontage and Lot 3B containing 70' of frontage. The existing 12' alley will not be affected.

Dimensional Requirements	Min. Lot Area	Min. Lot Width	Max Lot Coverage	Max Gross Density per Acre
R-2 Standards	9,000sf	70'	25%	4
Dimensional Comparison	Lot Area	Lot Width	Max Coverage Amount	Area w/in Building Envelope
Current Lot 3	21,584sf	149.89'	5,400sf	10,680sf
Proposed Lot 3A	11,504sf	79.89'	2,876sf	4,440sf
Proposed Lot 3B	10,080sf	70'	2,520sf	4,450sf

#### EXEMPT SUBDIVISION REVIEW CRITERIA

The following Exempt Subdivision types are found in Section 8 of the *Subdivision Regulations of the City of Bay Minette*.

- a) *The resubdivision of land into three (3) or less lots, tracts, or parcels where each of the lots, tracts, or parcels established by the resubdivision fronts on an existing, paved public road.*
  
- b) *Subdivisions of land into five (5) or less lots, tracts, or parcels wherein the size of each and every resulting lot equals or exceeds ten (10) acres including existing public rights-of-way. Each parcel shall have frontage on publicly maintained road.*

- c) *The subdivision of property into five (5) or less lots, tracts, or parcels for the limited purpose of sale, deed or transfer of land by the owner to a person or persons, all of whom are members of the owner's immediate family. Each parcel which is subdivided pursuant to this subparagraph shall have deeded ingress/egress and utility access or easement that runs with the land of not less than 30 feet in width. A qualifying division hereunder is limited to a division among the following designated legally related immediate family members: spouse, children, siblings, parents, grandparents, grandchildren, nieces, nephews, or step-related individuals of the same status.*

In addition to the requirements set forth above, the following requirements must be satisfied:

- a) *Each lot created hereunder shall comply with all minimum lot size and setback requirements otherwise specified by the provisions herein or by provisions of the Zoning Ordinance;*

*Maintenance of any easements, together with all improvements thereto, shall be the responsibility of all parties to which it is granted by (1) written agreement or (2) deed reference, and shall be noted on a recorded certified plat. Neither the City nor the County shall be responsible for any easement or improvements thereto.*

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## STAFF DETERMINATION

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The request meets the requirements for item (a) of Section 8.1 relating to Exempt Subdivisions and complies with all minimum lot size and setback requirement provisions of the Zoning Ordinance.

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## PLANNING COMMISSION ACTION

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For exempt subdivisions, no public hearing shall be required, but shall be subject to review and approval of the Planning Commission for compliance with the requirements contained in Section 8. Upon consideration and approval by the Planning Commission, the Chairman shall be authorized to sign the plat on behalf of the Planning Commission.

The Planning Commission has the option to:

- Authorize the Chairman to sign the plat
- Authorize the Chairman to sign the plat with conditions
- Deny signatory authorization, with stated factors for the denial
- Table the request due to lack of information or applicant(s) in attendance

*Certified Plat:* The property owner shall be responsible for the preparation of a certified plat, in form as approved by the Planning Commission, to be filed in the Baldwin County Probate records upon receiving approval hereunder. In the event the property to be divided is an existing lot (or lots) of record in a recorded subdivision, the applicant shall be required to cause a certified plat, in form as approved by the Planning Commission, to be recorded in the Baldwin County Probate records upon receiving an exemption hereunder.

*Limitation on resubmittal.* Any property included as part of an exempt or administrative subdivision shall not be eligible for consideration for further subdivision as an exempt or administrative subdivision for a period of one (1) year from the date of the last exempt or administrative subdivision.

submitted 8/25/22



# City of Bay Minette

## Exempt Subdivision Application

<b>OFFICE USE ONLY</b>
ES- <u>22005</u>
Fee- \$200 + \$10/per Lot

301 D'Olive Street · Bay Minette, Alabama 36507

Phone (251) 580-1650 · COBM\_Planning@ci.bay-minette.al.us

Owner Name: Julie Lewis

Phone Number: 251-510-0641 Email: lewisjulie2021@gmail.com

Address: 2108 Cate Court BM AL 36507

Street / PO Box City State Zip

Name of Applicant / Agent / Professional Land Surveyor, if other than owner:

Phone Number: \_\_\_\_\_ Email: \_\_\_\_\_

Name of Subdivision: Julie Lewis Re-Plat

Subdivision Location: corner of Hall Ave. and West 9th st.

Parcel/PPIN #: 23-02-09-2-000-108.001 PPIN 7825D

Total Acreage: .50 # of Parcels Existing: 1

Lot Sizes: 3A = .27 3B = .23 # of Lots Proposed: 2

Reason for request: \_\_\_\_\_

Signature: Julie Lewis Date: \_\_\_\_\_

<b>Fees</b>	
Application Fee: \$200.00	
No. of Parcels: <u>2</u> X \$10 = \$ <u>20.00</u>	Paid: <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card
Total \$ <u>220.00</u>	<input checked="" type="checkbox"/> Check # <u>133</u>

### Submittal Requirements

- \_\_\_\_\_ Application
- \_\_\_\_\_ Fee
- \_\_\_\_\_ Survey/Certified Plat showing existing parcel(s)
- \_\_\_\_\_ Survey/ Certified Plat showing proposed subdivision in accordance with Exempt Subdivision Regulations

\*Exempt Subdivision Regulations are included with packet

- 2 Hard Copies; 1 with the original seal
- Electronic Copy sent to [COBM\\_Planning@ci.bay-minette.al.us](mailto:COBM_Planning@ci.bay-minette.al.us)

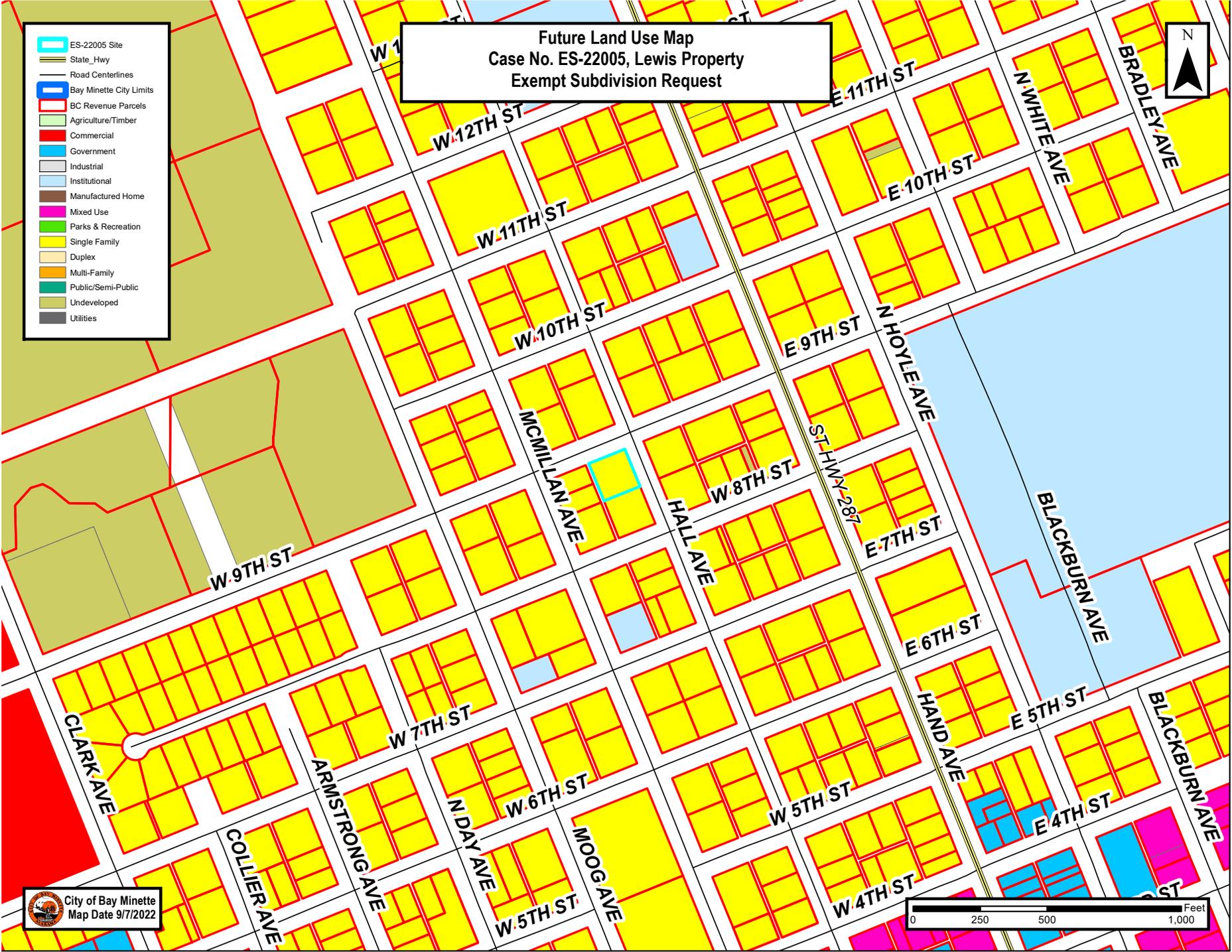
Version 1.2 7/22/2020



**Future Land Use Map  
Case No. ES-22005, Lewis Property  
Exempt Subdivision Request**



- ES-22005 Site
- State Hwy
- Road Centerlines
- Bay Minette City Limits
- BC Revenue Parcels
- Agriculture/Timber
- Commercial
- Government
- Industrial
- Institutional
- Manufactured Home
- Mixed Use
- Parks & Recreation
- Single Family
- Duplex
- Multi-Family
- Public/Semi-Public
- Undeveloped
- Utilities



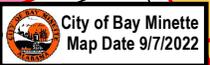
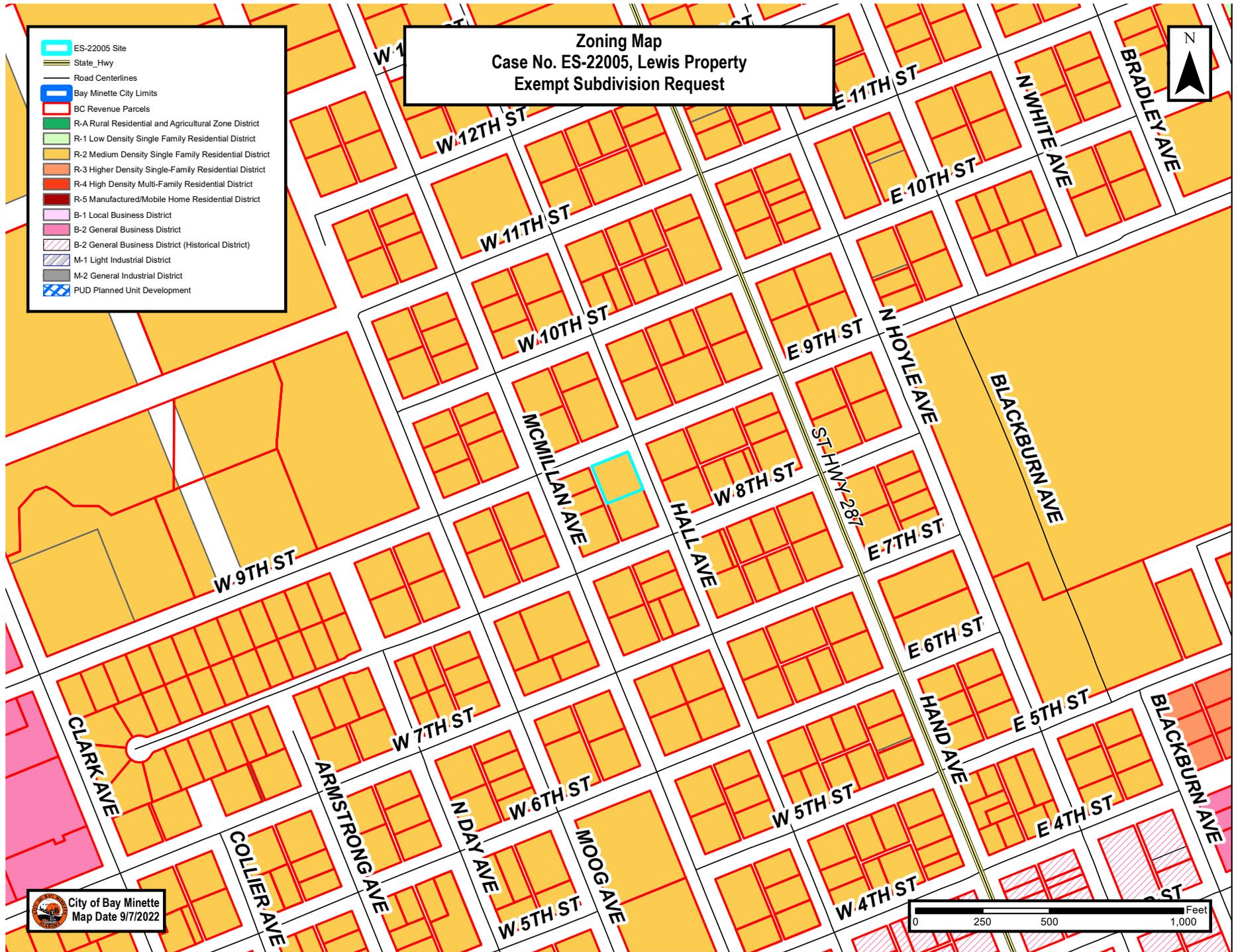
City of Bay Minette  
Map Date 9/7/2022



**Zoning Map**  
**Case No. ES-22005, Lewis Property**  
**Exempt Subdivision Request**



-  ES-22005 Site
-  State Hwy
-  Road Centerlines
-  Bay Minette City Limits
-  BC Revenue Parcels
-  R-A Rural Residential and Agricultural Zone District
-  R-1 Low Density Single Family Residential District
-  R-2 Medium Density Single Family Residential District
-  R-3 Higher Density Single-Family Residential District
-  R-4 High Density Multi-Family Residential District
-  R-5 Manufactured/Mobile Home Residential District
-  B-1 Local Business District
-  B-2 General Business District
-  B-2 General Business District (Historical District)
-  M-1 Light Industrial District
-  M-2 General Industrial District
-  PUD Planned Unit Development



-  ES-22005 Site
-  State Hwy
-  Road Centerlines
-  Bay Minette City Limits
-  BC Revenue Parcels

**Site Map**  
**Case No. ES-22005, Lewis Property**  
**Exempt Subdivision Request**



 **City of Bay Minette**  
 Map Date 9/7/2022



**FLOOD STATEMENT**  
 PROPERTY LIES IN FLOOD ZONE "X (UNSHADED)" AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER 0100300394M, COMMUNITY NUMBER 010004, PANEL 0294, SUFFIX "M", MAP REVISED DATE APRIL 19, 2019.

**BUILDING SETBACKS**  
 BUILDING SETBACKS AS PER R-2 ZONING, BAY MINETTE, ALABAMA:  
 FRONT: 30 FT. (ARTERIAL & COLLECTOR STREETS)  
 FRONT: 25 FT. (LOCAL STREETS & SERVICE RD)  
 REAR: 30 FT.  
 SIDE: 10 FT.  
 CORNER LOTS: 30 FT. (ARTERIAL & COLLECTOR STREETS)  
 20 FT. (LOCAL STREETS & SERVICE RD)

**SURVEYOR'S NOTES:**

1. THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
2. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
3. THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
4. SURVEY WAS CONDUCTED IN AUGUST 2022, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
5. BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES, AND ARE BASED ON STATE PLANE GRID, ALABAMA WEST ZONE USING GPS OBSERVATIONS.
6. NO TITLE SEARCH OR REPORT WAS PROVIDED FOR THIS SURVEY.
7. THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, EFFECTIVE JANUARY 1, 2017.

**CERTIFICATE OF APPROVAL BY THE CITY ENGINEER**  
 THE UNDERSIGNED, AS THE CITY ENGINEER OF THE CITY OF BAY MINETTE, ALABAMA HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY THE CITY OF BAY MINETTE PLANNING COMMISSION**  
 THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF BAY MINETTE PLANNING COMMISSION HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP**  
 I, THE UNDERSIGNED, \_\_\_\_\_ AS PROPRIETOR, HAVE CAUSED THE LAND EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, LAID OUT AND PLATTED TO BE KNOWN AS JULIE LEWIS RE-PLAT, A RE-PLAT OF LOT 3, BLOCK 123, HAND LAND COMPANY'S ADDITION TO THE TOWN OF BAY MINETTE, BALDWIN COUNTY, ALABAMA, AND THAT THE STREETS AND EASEMENTS, AS SHOWN ON SAID PLAT, ARE HEREBY DEDICATED TO THE USE OF THE PUBLIC.  
 DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

PRINT NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_

**CERTIFICATE OF NOTARY PUBLIC:**  
 STATE OF ALABAMA  
 COUNTY OF BALDWIN  
 I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT \_\_\_\_\_ AS OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND AS SUCH AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.  
 GIVEN UNDER MY HAND AND OFFICIAL SEAL THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 202\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**  
 I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

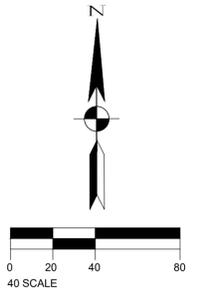
"Lot Three (3) in Block One Hundred Twenty-three (123) in Hand Land Company's Addition to the Town of Bay Minette, Baldwin County, Alabama, as shown by the map or plat thereof as recorded in the Office of the Judge of Probate of Baldwin County, Alabama, in record Book 4 N.S., Page 158 et seq."

(DESCRIPTION COPIED FROM THAT WARRANTY DEED RECORDED IN REAL PROPERTY BOOK 203 AT PAGE 1462, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.)

DAVID E DIEHL AL. P.L.S. NO. 26014 DATE 08-22-2022



SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL



**LEGEND:**  
 B.S.L. = BUILDING SETBACK LINE  
 ● CRS = CAPPED REBAR SET (SE CIVIL-CA1167LS)  
 ○ CRF = CAPPED REBAR FOUND

**JULIE LEWIS RE-PLAT**  
 AN EXEMPT SUBDIVISION  
 A RE-PLAT OF LOT 3, BLOCK 123,  
 HAND LAND COMPANY'S ADDITION TO THE TOWN OF BAY MINETTE

PROPERTY BOUNDARY SURVEY		DRAWN	RDC
		CHKD.	JAF
JULIE LEWIS		PROJ MGR	DED
		SCALE	1"=40'
		PROJECT	20221144
		FILE	20221144
		SHEET	1 OF 1



# City of Bay Minette

## Planning & Development Services

### PLANNING COMMISSION STAFF ANALYSIS

Meeting: October 13, 2022

Case Number: SP-22004

### SUMMARY INFORMATION

Project Name: 7Brew Coffee Shop  
 Property Location: 131 McMeans Avenue  
 Property PID/PPIN: 05-23-05-16-2-001-031.002 // 79481  
 Current Property Size: .92± acres

Requested Action: Planning Commission Approval for a drive-through coffee restaurant  
 Applicant: Engineering Design Group  
 Property Owner: Out of the Box Ventures

Subject Property	Zoning	Existing Land Use
SP-22004	B-2	Vacant
Adjacent Property	Zoning	Existing Land Use
North	B-2	Popeye's
South	B-2	Waffle House, Mixed Use offices/residential
East	B-2	Commercial, Shopping Center
West	B-2	Single Family Residential

### SITE AND REQUEST SYNOPSIS

The subject property, which consists of approximately .92± total acres is zoned B-2, General Business District. The property is located at 131 McMeans Ave, between Popeye's and Waffle House. The property is currently vacant/undeveloped but was previously subdivided for the development of Popeye's. This request is for Planning Commission Site Plan approval for a drive-through only coffee shop. The Restaurant (not as an entertainment venue) use is allowed by right in a B-2, General Business District zoning designation but requires Planning Commission Site Plan approval prior to any permit issuance.

### ZONING DISTRICT AND TABLE OF PERMITTED USES

6.3.2 B-2, *General Business District*. This district is intended to provide opportunity for activities causing noise and heavy traffic, not considered compatible in the more restrictive business district. These uses also serve a regional as well as a local market and require location in proximity to major transportation routes. Recreational vehicle parks, very light production and processing activities are included.

Table of Permitted Uses and Conditions	R-A	R-1	R-2	R-3	R-4	R-5	B-1	B-2	M-1	M-2
Restaurant (not as an entertainment venue)							R	R		

### DEPARTMENT AND AGENCY COMMENTS

North Baldwin Utilities – No comments other than no cover over the dumpster drain which the applicant is correcting.

Bay Minette Public Works – No comments

Bay Minette Police Department - No comments

Bay Minette Fire Department – No comments

Baldwin County E-911 – No comments, site was reviewed and address assignment made previously

Tensaw Engineering, Benjamin White, P.E. – *City Consultant as Civil Engineer* – No comments

Neel-Schaffer, Shane Bergin, PE, PTOE, PTP, RSP1 – *City Consultant as Transportation Engineer* – No comments

## STAFF ANALYSIS AND FINDINGS

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The following guidelines for Site Plan review are found in Article 8 – District Requirements in the *Zoning Ordinance of the City of Bay Minette*. These matters are to be considered for appropriateness in relation to *Section 8.9 Site Plan* when an application is being reviewed for Planning Commission Site Plan Approval.

- 1.) *The density or intensity of land use to be allocated to all parts of the site together with tabulations by acreage and percentages thereof itemized by use and density.*

Subject Property Site Totals	40,123± ft <sup>2</sup>	.92± acres
Site Use/Type Area	±Square Footage	% Lot Coverage
Proposed Building	530±ft <sup>2</sup>	1.32%
Parking and Accessory Structures Impervious Surface	24,747±ft <sup>2</sup>	61.67%
Total Impervious Surface	25,277±ft <sup>2</sup>	63%
Required Landscaped Area	6,018±ft <sup>2</sup>	15%
Total Proposed Landscaped Area	15,529±ft <sup>2</sup>	38.7%

The following is a summary of/excerpt from the Storm Drainage Analysis conducted by Engineering Design Group, LLC:

### **Existing Conditions:**

*Previously this site contained an 8,200 sq ft restaurant building with a parking lot and storm drainage. The previous impervious surface was approximately 54% of the site area. At the time of the storm drainage analysis, the building has been removed, but the pavement still remains. According to Web Soil Survey, the soil found on this site is fine sandy loam and is a Type C soil. The site generally slopes from the South to North with slopes ranging from 0%-2%. From the review of the survey, GIS, and field investigations, it appears that the site receives a small portion of drainage from offsite.*

### **Proposed Improvements**

*The proposed project includes grading and drainage improvements necessary for the addition of a 7Brew Coffee building and associated parking and drive-thru area. After the proposed improvements the site will consist of approximately 63% impervious area. The site's runoff will sheet flow through the parking lot and it will be captured in inlets and piped toward the North side of the lot. The onsite storm sewer system will connect to an existing system (where it is currently discharged) on the South side of the adjacent Popeye's parking lot. Storm detention for the previous development is assumed to be accounted for, and the difference in impervious area between the previous and proposed development is negligible. Given this, detention will not be provided onsite due to the soil type and small change to the impervious area on the site.*

### **Summary:**

*Drainage from the development is routed to the existing storm sewer located offsite on the north adjacent property. Post-developed runoff is not detained on-site. The onsite pipe system is designed using the minimum 18" diameter pipes and will capture and convey the 25-year design storm.*

2.) *The location, size and character of any common open space, commonly owned facilities and form of organization which will own and maintain any common open space and such facilities.*

Not applicable to this development.

3.) *The use and maximum height, bulk and location of all buildings and other structures to be located on the site.*

A site plan is included. The proposed plans shows a building footprint of 530 sq ft prefabricated building with a height of 18 feet as well as a separate cooler, dumpster pad area and extended canopy. A Life Safety Plan has been submitted as well.

The 7Brew restaurant is drive-through service only and will not provide any indoor service or seating.

4.) *The substance of covenants, grants of easements or other restrictions which will be imposed upon the use of the land, buildings and structures, including proposed easements or grants for public utilities or other purposes.*

The subject property and the adjacent property occupied by Popeye's are both currently owned by Out of the Box Ventures. The delivery vehicle route is proposed to access the subject property from the Popeye's site.

The applicant has submitted a draft perpetual easement that will be finalized at closing to allow this access.

5.) *The provisions for disposition of open space, including tree protection, landscaping provisions and buffering requirements.*

**Landscape Provisions // Off-Street Parking:** The applicant has submitted plans that meet or exceed the landscaping and parking requirements. As the restaurant is drive-through service only, the minimum requirement for parking spaces is 5 with 11 spaces being provided. Landscaped parking islands are required for every 12 spaces. Landscape plans exceed this requirement.

LANDSCAPE AREA REQUIREMENTS (10.5)	
Total Site Area:	40,123 s.f.
Required Landscape Area (10%):	6,018 s.f.
Provided Landscape Area:	16,629 s.f.
STREET FRONTAGE REQUIREMENTS (10.6)	
<u> Hwy 68 </u>	
1 tree per 25 LF ROW @ 71.0 LF = 2.84 trees	
Total Frontage Trees Required:	3 trees
Total Frontage Trees Provided:	3 trees
PARKING LOT TREE REQUIREMENTS (10.10)	
Proposed Parking Lot Area:	1,000 s.f.
Required Landscape Area (10%):	100 s.f.
Provided Landscape Island Area:	100 s.f.
<u> Trees </u>	
1 tree per 12 spaces @ 11 spaces = 0.92 trees	
Total Parking Lot Trees Required:	1 trees
Total Parking Lot Trees Provided:	1 trees

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT
	NR2	1	ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY FULL TO GROUND	16 GAL	3" CAL	8'
	LN	1	LAGERSTROEMIA INDICA 'NATCHEZ' / 'NATCHEZ' CRAPE MYRTLE MINIMUM 3 TRUNKS; FULL HEAD	16 GAL	0.75" CAL	8'
	QV	2	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK FULL HEAD, SPECIMEN QUALITY	B&B OR CONT	3.5" CAL	12'
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	
	SOD	15,513 SF	CYNODON DACTYLON 'TIFFWAY 419' / TIFFWAY 419 BERMUDA GRASS	SOD		

**Buffering:** A buffer is not required on this site as it is immediately adjacent to other commercially-zoned property.

**Tree Protection:** The site does not contain any trees but is located within the Greenbelt Zone. The landscape plans meet the requirements for the Greenbelt Zone.

6.) *In the case of plans which call for development over a period of years, a schedule showing the proposed times within which applications for building permits are intended to be filed.*

N/A

7.) *Where required by the Alabama Department of Transportation ("ALDOT"), the Building Official shall be proved proof that the applicant has submitted a driveway permit application to ALDOT. In the event that any type of traffic study is required by the ALDOT, copies thereof shall be provided to the Building Official.*

The applicant has had the plans reviewed by ALDOT, who required a modification be made to the width of the access from Hwy 59 that has been incorporated into the set of plans presented to the Commission.

8.) *Front and side architectural elevations.*

Included in the following attachments.

The proposed plans meets the requirement for covering a minimum of 50% of the metal and provision of architectural features.

While not required, the plans also include screening for the dumpster area.

9.) *The location and size of all signs to be located on the site. In the event that a sign is pre-existing and fails to conform to the requirements as set forth in this ordinance, site plan approval will be granted only under the condition that all signs will comply with the regulations as set forth in the sign ordinance.*

There is approximately 100 sq ft of signage proposed as shown on the plans, but all signage will require a Sign Permit prior to construction/installation and all dimensional and other signage requirements will be reviewed at that time.

10.) *Landscape plans.*

See Item (e) above.

11.) *Any additional data, plans or specifications which the applicant or the City believes is pertinent and which will assist in clarifying the application including, but not limited to plans for screening, lighting and space, surface drainage, erosion and sediment control, water and sewer connections, landscaping, and signs.*

N/A, previously discussed

## STAFF RECOMMENDATION

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Based on the information submitted, staff recommends that the Planning Commission Site Plan Request be Approved.

## PLANNING COMMISSION ACTION

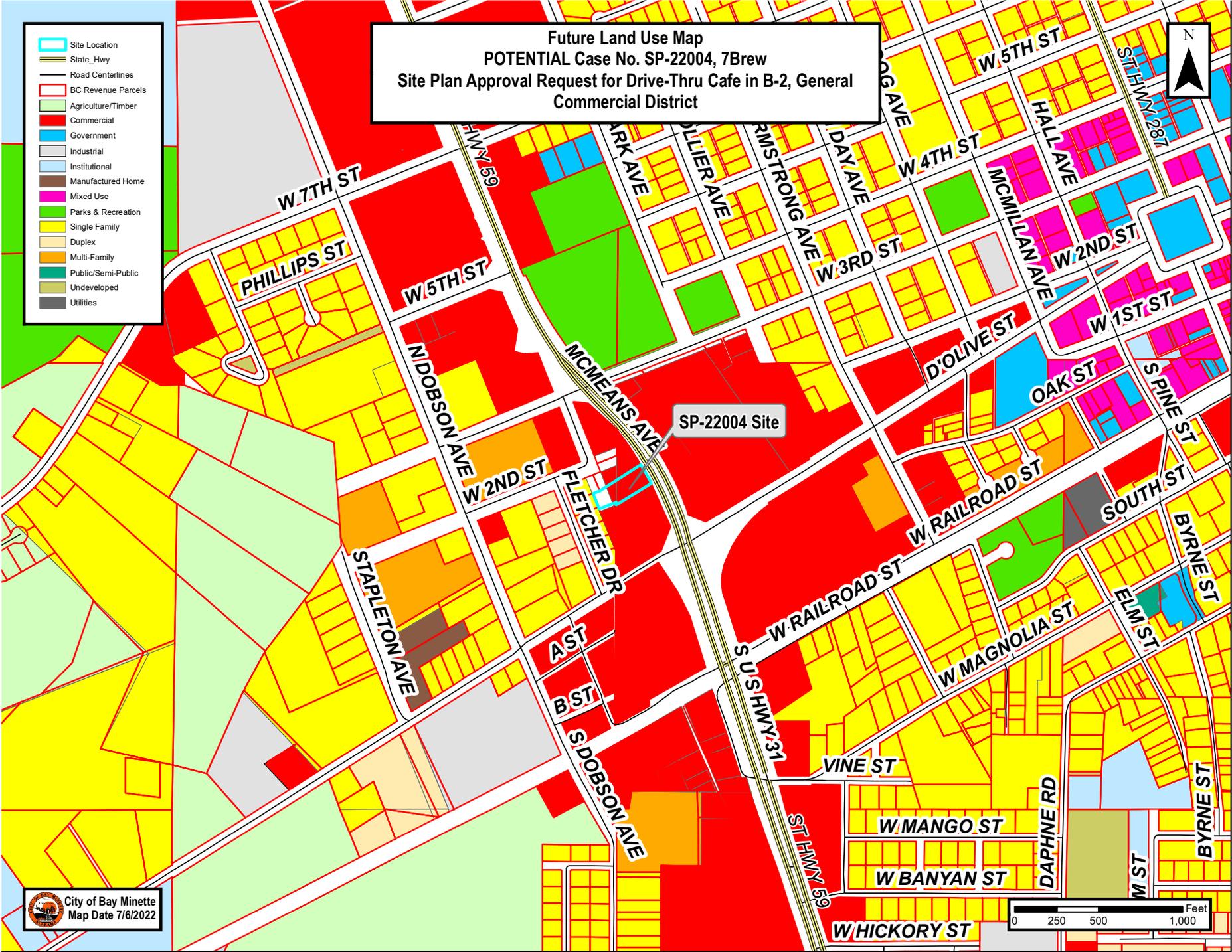
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For Site Plan Approval, the Planning Commission makes the final decision and has the option to:

- Approve the Site Plan
- Approve the Site Plan with conditions, stating the conditions required
- Deny the Site Plan, with stated factors for the denial
- Table Request, due to lack of information

**Future Land Use Map**  
**POTENTIAL Case No. SP-22004, 7Brew**  
**Site Plan Approval Request for Drive-Thru Cafe in B-2, General Commercial District**

-  Site Location
-  State Hwy
-  Road Centerlines
-  BC Revenue Parcels
-  Agriculture/Timber
-  Commercial
-  Government
-  Industrial
-  Institutional
-  Manufactured Home
-  Mixed Use
-  Parks & Recreation
-  Single Family
-  Duplex
-  Multi-Family
-  Public/Semi-Public
-  Undeveloped
-  Utilities



 City of Bay Minette  
 Map Date 7/6/2022

**Zoning Map**  
**POTENTIAL Case No. SP-22004, 7Brew**  
**Site Plan Approval Request for Drive-Thru Cafe in B-2, General Commercial District**

-  Site Location
-  State Hwy
-  Road Centerlines
-  BC Revenue Parcels
-  R-A Rural Residential and Agricultural Zone District
-  R-1 Low Density Single Family Residential District
-  R-2 Medium Density Single Family Residential District
-  R-3 Higher Density Single-Family Residential District
-  R-4 High Density Multi-Family Residential District
-  R-5 Manufactured/Mobile Home Residential District
-  B-1 Local Business District
-  B-2 General Business District
-  B-2 General Business District (Historical District)
-  M-1 Light Industrial District
-  M-2 General Industrial District
-  PUD Planned Unit Development



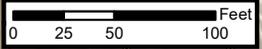
SP-22004 Site

 City of Bay Minette  
 Map Date 7/6/2022



-  Site Location
-  State Hwy
-  Road Centerlines
-  BC Revenue Parcels

**Site Map**  
**POTENTIAL Case No. SP-22004, 7Brew**  
**Site Plan Approval Request for Drive-Thru Cafe in B-2, General Commercial District**



KCS, Baldwin County, Pictometry



# City of Bay Minette

## Site Plan Review Application

301 D'Olive Street · Bay Minette, Alabama 36507

Phone (251) 580-1650 · COBM\_Planning@ci.bay-minette.al.us

Office Use Only	
Case No.:	SP-22004
Fee:	\$300.00
Paid:	<input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check <i>Paid 8/29/22</i>
	<input type="checkbox"/> Credit Card

Are you the property owner?  Yes  No  
(If you are not the property owner, you must submit an Agent Authorization Form signed by the property owner)

Applicant Name: David Dichiaro - Engineering Design Group Date: 8/25/22

Mailing Address: 1000 East Laurel Ave.

City: Foley State: AL Zip Code: 36535

Phone Number: 251-943-8960 Email: dichiaro@edgalabama.com

### Site Information

Property Address: 131 McMeans Avenue, Bay Minette, AL

or Property Location: \_\_\_\_\_

\*Parcel No.: 05-23-05-16-2-001-031.002 \*PPIN No.: 79481

*\*Parcel or PPIN information must be completed*

Request: We are requesting site plan approval for a 7 Brew Coffee Shop. This is a drive-thru coffee shop that will consist of supporting pavement, parking, and utility infrastructure.

I, the undersigned, do hereby request the City of Bay Minette Planning Commission to grant a Site Plan Review for the location to determine if it meets the regulations of the **Zoning Ordinance** for the reason(s) stated above.

*DD Dichiaro (for EDG)* 8/25/22  
Signature of Applicant (Owner of Property of Authorized Agent) Date

### Submittal Requirements

- Application
- Fee paid in full
- Agent Authorization Form (if applicant is not the owner)
- Complete Legal Description of Property
- Plot Plan or Survey – indicating any existing structures, proposed structures, and setbacks from property lines
- Submittal Requirements listed in 8.9 Site Plan, as applicable

# APD ENGINEERING | ARCHITECTURE

City of Bay Minette  
301 D'Olive Street  
Bay Minette, AL 36507  
251-580-1610

August 26, 2022

APD Project No.: 22-0292A

RE: 7Brew – Bay Minette, AL

To whom it may concern,

On behalf of our client, 7Brew, please accept the enclosed materials as our application for the Building Department Plan Review. The project includes a new 7brew to be located at 131 McMeans Ave, Bay Minette, AL 36507.

Please find the following items as part of our Building Permit Application:

1. (2) Construction plan set
2. (1) Site plan layout
3. (1) Plan review application
4. (2) Structural calculations
5. (2) Statement of special inspections

Please note that these plans will be accompanying the remaining submittals from the contractor.

Please direct all questions and comments to: Alicia Cologgi, APD Engineering & Architecture, PLLC, 615 Fishers Run, Victor, NY 14564. Tel: 585-742-0209., Email: [acologgi@apd.com](mailto:acologgi@apd.com)

Sincerely,

Alicia Cologgi

---

#### Headquarters

615 Fishers Run, Victor, NY 14564  
phone 585.742.2222 • fax 585.924.4914  
web [www.apd.com](http://www.apd.com) • email [info@apd.com](mailto:info@apd.com)

#### Office Locations

P.O. Box 11626, Santa Ana, CA 92711 • phone/fax 714.987.1380



# City of Bay Minette

## General Building Permit Application

301 D'Olive Street · Bay Minette, Alabama 36507 · Phone (251) 580-1610

Permit #: _____
Paid: <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card
<input type="checkbox"/> Check - No.: _____

### PROPERTY INFORMATION – REQUIRED

Street Address: 131 McMeans Ave, Bay Minette, AL 36507 PPIN: 115816

### APPLICANT / PROPERTY OWNER INFORMATION

Name: APD Engineering & Architecture, PLLC Date: 8/26/2022

Address: 615 Fishers Run, Victor, NY 14564

Phone: 585-445-7167 Email: mverrastro@apd.com

Power Provider: Alabama Power  Well or  Water Provider: North Baldwin  Septic or  Sewer Provider: North Baldwin

### CONTRACTOR INFORMATION

Legal Business Name: TBD

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

City of Bay Minette Business License #: \_\_\_\_\_ General Contract License #: \_\_\_\_\_

Home Builder's or State Trade License #: \_\_\_\_\_

Description of Work Required: \_\_\_\_\_

### PERMIT DETAILS

Trade Type:  Building  Electrical  Mechanical  Plumbing\* - \*Gas Piping Installer, if applicable: \_\_\_\_\_

Building Class:  Commercial  Residential  Multi-Family- Unit # \_\_\_\_\_

Development Type:  New Construction  Addition  Alteration / Repair

Mobile Home\*\* -  New  Replacement  Relocation \*\*Electrical Permit Required

Other: \_\_\_\_\_

Construction Details: Building Valuation: \$ 1,500,000

Building Size- HEATED: 477 sq. ft. NON-HEATED: \_\_\_\_\_ sq. ft.

\$ _____	Application Fee
\$ _____	Plan Review Fee
\$ _____	Permit Fee
\$ _____	CICT Fee
\$ _____	Life Safety Review Fee
\$ _____	Land Use Fee
\$ _____	<b>TOTAL FEE</b>

Application is hereby made for a permit to erect/alter a structure as described herein or shown in accompanying plans and specifications, which structure is to be located as shown on the accompanying plot plan. It is understood and agreed by this applicant that any error, misstatement or misrepresentation of material fact or expression of material fact, either with or without intention on the part of this applicant, such as might, or would, operate to cause a refusal of this application, or any material alteration or change in the accompanying plans, specifications or structure made subsequent to the issuance of a permit in accordance with this application, without the approval of the Building Official, shall constitute sufficient grounds for the revocation of such permit.

Signature of Applicant: Michael Venard Date: 8/24/2022

Version 1.2 – 3/22/2022		<b>INTERNAL USE</b>	
<input type="checkbox"/> City Zoning: _____	<input type="checkbox"/> Police Jurisdiction - County Zoning: _____	FEMA Flood: _____	<input type="checkbox"/> Potential Wetlands
<input type="checkbox"/> Culvert	<input type="checkbox"/> Sewer / Septic Release	<input type="checkbox"/> Water Release	<input type="checkbox"/> Site Plan <input type="checkbox"/> Agent Authorization <input type="checkbox"/> Construction Plans
<input type="checkbox"/> Address Verified or Received <input type="checkbox"/> Correction/Assignment: _____			
Planning Review: _____		Building Official Approval: _____	



# City of Bay Minette Agent Authorization Form

**Office Use Only**

Case No.: \_\_\_\_\_

I/We hereby appoint and designate APD Engineering & Architecture, PLLC ("Agent") to act as my/our-agent in all matters concerning this application/permit which relates to property described as tax parcel PPIN# 115816. I/We understand that the scope of the agency designation granted herein is general in nature and includes, without limitation, all decision-making authority relating to submittals, status, conditions, or withdrawal of this application/permit. To the fullest extent permitted under Alabama law, I/we release and agree to hold the City of Bay Minette harmless from and against any liability resulting from acts or omissions of our Agent. I/We warrant and certify to the City of Bay Minette that I/we are the owner(s) of the real property identified herein, and that I/we have fully authority to make the agency designation herein. I/We further certify that the information stated on and submitted with this application/permit is true and correct. I also understand that the submittal of incorrect information will result in the revocation of this application/permit and any work performed will be at the risk of the applicant. I understand further that any changes which vary from the approved plans will result in the requirement of a new application/permit.

\*NOTE: All correspondence will be sent to the authorized Agent. It will be the Agent's responsibility to keep the owner(s) adequately informed as to the status of the application.

**PROPERTY OWNER(S)**

Geyer Morris Company

Name(s) - Printed  
3060 Peachtree Road NW

Mailing Address  
Atlanta, GA 30305

City/State  
832-920-8362

jtempel@geyer Morris.com

Phone  
*Jonathan Tempel*

Email  
8/24/2022

Signature(s)

Date

**AUTHORIZED AGENT**

APD Engineering & Architecture, PLLC

Name(s) - Printed  
615 Fishers Run

Mailing Address  
Victor, NY 14564

City/State  
585-445-7167

mverastro@apd.com

Phone  
*Michael Verastro*

Email  
8/24/2022

Signature(s)

Date

rev. 10/21/2019

NOTARIZED AUTHORIZATION OF OWNER

I/We, OUT OF THE BOX VENTURES LLC, as the sole or joint fee simple title holder(s) of the property described as +/- 0.91-AC, Baldwin County parcel #23-05-16-2-001-031.002, vacant land located at 201 McMeans Ave. Bay Minette, AL 36507, Baldwin County, authorize Engineering Design Group, LLC, 3J7B Real Estate LLC, and High Octane Companies, LLC and/or their consultants to act as our agent to seek site plan/development plan approval, DOT approvals, and/or all regulatory approvals in connection therewith, on the above-referenced property.

Company: OUT OF THE BOX VENTURES LLC

By: Steve Appell  
OUT OF THE BOX VENTURES LLC

Address: 1600 Harris Street,  
Alexandria, LA  
71301

Phone: 3184455685 Fax: 3184481727

Email: SA@Petron-us.com

Dash STATE OF Louisiana  
COUNTY OF Rapides

The forgoing instrument was acknowledged before me this 19th day of September, 2022 by OUT OF THE BOX VENTURES LLC who is personally known to me or who has produced La. Drivers Lic #003249949 (type of ID) as identification and who did not take an oath.

Garrison Moreau  
NOTARY PUBLIC - STATE OF Louisiana  
Garrison Moreau  
NAME OF NOTARY - TYPED OR PRINTED  
COMMISSION NO: 18550

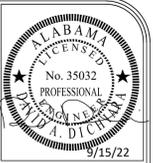
Garrison Moreau  
Notary Public ID # 18550  
Rapides Parish  
State of Louisiana  
Commission is for Life

# CIVIL CONSTRUCTION DOCUMENTS

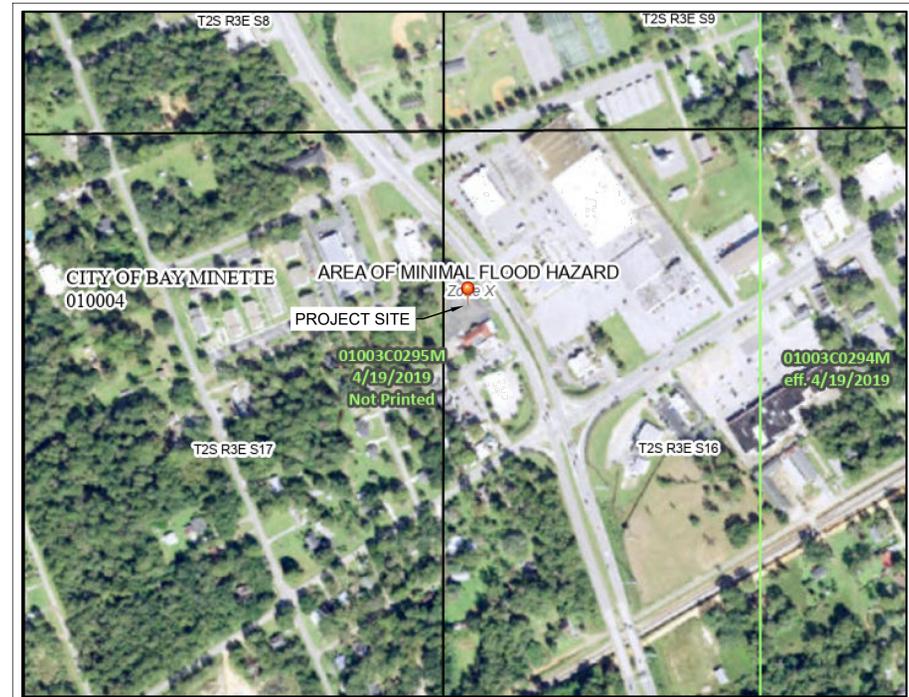
FOR

## 7 BREW COFFEE

131 MCMEANS AVENUE  
BAY MINETTE, AL



ENGINEERING DESIGN GROUP  
PELHAM, AL  
120 BISHOP CIRCLE SUITE 300  
PELHAM, AL 35124  
(205) 403 - 9158  
FOLEY, AL  
1000 E. LAUREL STREET  
FOLEY, AL 36535  
(251) 943 - 8960



FEMA'S NATIONAL FLOOD HAZARD VIEWER  
PER FEMA 01003C0295M, THIS SITE  
IS LOCATED PARTIALLY IN ZONE X IN AN AREA  
OF MINIMAL FLOOD HAZARD



VICINITY MAP  
N.T.S.

### Sheet List Table

C0.0	COVER
C0.1	GENERAL NOTES
1 OF 1	ALTA SURVEY
C1.0	EXISTING CONDITION AND DEMOLITION PLAN
C2.0	SITE LAYOUT PLAN
C2.1	TRUCK ROUTE EXHIBIT
C3.0	GRADING & DRAINAGE PLAN
C3.1	STORM PROFILES
C4.0	UTILITY PLAN
C5.0	EROSION CONTROL PH 1
C5.1	EROSION CONTROL PH 2
C6.0	CIVIL DETAILS
C6.1	CIVIL DETAILS
LP 100	LANDSCAPE PLANTING PLAN
LP 500	LANDSCAPE PLANTING DETAILS
LI 100	LANDSCAPE IRRIGATION PLANS
LI 500	LANDSCAPE IRRIGATION DETAILS

ISSUE FOR PERMIT-9/15/22  
REVISIONS

PROJECT ADDRESS:  
131 MCMEANS AVENUE  
BAY MINETTE, AL

SHEET TITLE  
COVER

PROJECT NAME:  
7 BREW COFFEE

### PROJECT CONTACTS

CITY OF BAY MINETTE  
BUILDING DEPARTMENT - 251-580-1610  
PLANNING & ZONING - 251-580-1650

UTILITY PROVIDERS  
NORTH BALDWIN UTILITIES - 251-580-1626  
ALABAMA POWER - 800-613-9333

**OWNER**  
GEYER MORRIS COMPANY  
3060 PEACHTREE ROAD NW  
ATLANTA, GA. 30305  
(832) 920-8362  
CONTACT: JOHNATHAN TEMPEL

**CIVIL ENGINEER**  
ENGINEERING DESIGN GROUP, LLC  
21106 STATE HIGHWAY 98  
FOLEY, AL 36535  
(251) 0943 - 8960  
CONTACT: DAVID DICHIARA, P.E.

**SURVEYOR**  
ENGINEERING DESIGN GROUP, LLC  
21106 STATE HIGHWAY 98  
FOLEY, AL 36535  
(251) 943 - 8960  
CONTACT: CRAIG JOHNSON, P.L.S.

**GEOTECHNICAL ENGINEER**  
ECS SOUTHEAST, LLP  
724 LAKESIDE DRIVE  
MOBILE, AL 36693  
251-301-5220  
CONTACT: BRAD HARRIS

**LANDSCAPE ARCHITECT**  
WAS DESIGN  
218 N ALSTON ST.  
FOLEY, AL 36535  
251-948-7181  
CONTACT: DAN MAJORS

DRAWN BY: AGL  
CHECKED BY: DAD  
PROJECT No.: F\_GMCO006  
CAD FILE: COVER-NOTES  
DATE: August 26, 2022  
SHEET NO.

C0.0

**GENERAL NOTES:**

- 1. ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
2. ALL CONSTRUCTION SHOWN ON THESE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS FOR THIS PROJECT AND SHALL CONFORM TO ALL CODES, ORDINANCES, RESTRICTIONS, AND STANDARDS OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SITE.
3. ALL TRENCHES EXCAVATED UNDER PAVEMENT SHALL BE BACKFILLED WITH STONE.
4. CONTRACTOR SHALL COORDINATE THE INSTALLATION, ADJUSTMENT OR RELOCATION OF ALL UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES AND HIS WORK.
5. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND BENCHMARKS.
6. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
7. JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
8. THE LIMITS OF DISTURBANCE SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS.
9. IN THE EVENT THAT A CONFLICT ARISES BETWEEN THE SITE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH CONSTRUCTION OF ANY AREA WHERE A CONFLICT HAS BEEN DISCOVERED UNTIL SUCH TIME AS THE CONFLICT HAS BEEN CLEARLY RESOLVED.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTIVE DEVICES, TRAFFIC CONTROL, AND FOR THE IMPLEMENTATION OF ALL SAFETY MEASURES INCLUDING, BUT NOT LIMITED TO: THE PROTECTION OF LIFE, PROPERTY, AND SITE IMPROVEMENTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SMOOTH TRANSITION BETWEEN ALL NEW CONSTRUCTION AND ALL EXISTING CONDITIONS.
12. ALL CONSTRUCTION TO MEET OSHA SAFETY GUIDELINES. SAID SAFETY PROCEDURES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
13. DO NOT SCALE CRITICAL DIMENSIONS FROM THIS DRAWING, CONTACT ENGINEER FOR SPECIFIC CLARIFICATIONS NEEDED.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

**SITE DEMOLITION NOTES:**

- 1. CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO ANY DEMOLITION REGARDING ITEMS TO BE SALVAGED, RECYCLED, AND REUSED.
2. CONTRACTOR SHALL COORDINATE WITH OWNER AND THE UTILITY PROVIDER PRIOR TO THE DISCONNECTING OR REMOVAL OF ANY UTILITY SERVICE TO THE EXISTING BUILDINGS.
3. REFER TO SITE GRADING AND UTILITY PLANS FOR PROPOSED UTILITY AND DRAINAGE INSTALLATION AND REMOVAL.
4. REFER TO LAYOUT AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION RELATING TO PAVING, CURB, SIDEWALKS, HARDSCAPES, ETC.
5. CONTRACTOR SHALL COORDINATE WITH OWNER AND THE UTILITY PROVIDER PRIOR TO THE DISCONNECTING OF ANY UTILITY SERVICE TO THE EXISTING BUILDINGS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RENEWAL, RELOCATION OR PROTECTION OF ALL ABOVE AND BELOW GROUND EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS UNLESS NOTED.
7. ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE TRANSPORTED AND DISPOSED OF AT LEAST WEEKLY IN A LEGAL AND APPROVED MANNER.
8. ALL EXISTING PAVING, CURBS, HARDSCAPE, ETC. SHALL BE SAW CUT AT THE LIMITS OF REMOVAL IN ORDER TO PROVIDE A CLEAN EDGE.

**SITE NOTES:**

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS, AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. TOPOGRAPHIC SURVEY PROVIDED BY ENGINEERING DESIGN GROUP, LLC.
3. ALL DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE TO ANY EXISTING IMPROVEMENT, ONSITE OR OFFSITE.
5. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE OWNER/ENGINEER IMMEDIATELY.
6. ALL CONCRETE SHALL HAVE A MINIMUM OF 3,000 PSI @ 28 DAY COMPRESSIVE STRENGTH UNLESS STATED OTHERWISE.

**GRADING NOTES:**

- 1. A PROJECT SPECIFIC GEOTECHNICAL REPORT HAS BEEN COMPLETED AND IS AVAILABLE FOR THE CONTRACTOR FOR REVIEW.
2. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS.
3. GRADED OR DISTURBED AREAS, THAT ARE NOT OTHERWISE PERMANENTLY STABILIZED, SHALL

- HAVE A MINIMUM OF 4" OF TOPSOIL IF REQUIRED BY FIELD CONDITIONS.
4. GRADES SHOWN ARE FINISHED PAVEMENT & TOP OF SOIL GRADE ELEVATIONS.
5. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY REPRESENTATIVES 48 HOURS PRIOR TO EXCAVATION IN AREAS WHERE UTILITIES MAY EXIST.
6. THE CONTRACTOR SHALL ASSUME THAT EXCESS MATERIAL SHOULD BE REMOVED FROM AND LEGALLY DISPOSED OF OFF THE PROJECT SITE.
7. NO SLOPES SHALL BE STEEPER THAN 2-HORIZONTAL TO 1-VERTICAL.
8. THE STRUCTURAL FILL AT THE SITE TO BE COMPOSED OF SOIL AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
9. WHEN ALL GRADING IS COMPLETED, CONTRACTOR WILL FURNISH AT NO EXTRA COST A TRIAXLE DUMP TRUCK HEAPED FULL WITH ALABAMA HIGHWAY DEPARTMENT TYPE B CRUSHED STONE AGGREGATE.
10. THE OWNER WILL PROVIDE GEOTECHNICAL TESTING.
11. SITE PREPARATION - THE FIRST CONSTRUCTION PHASE SHOULD CONSIST OF THE REMOVAL OF ALL VEGETATION, TOPSOIL, ORGANIC MATTER, AND ANY OTHER DELETERIOUS MATERIALS.
12. CONTRACTOR IS TO COORDINATE WITH THE GEOTECHNICAL ENGINEER AND THEIR ON-SITE TESTING AGENT.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ANY AND ALL EXISTING ITEMS TO REMAIN TO THE PROPOSED FINISHED GRADE.
14. STORM PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP), CONFORMING TO ASTM C-76, B OR C WALL, CLASS III (UNLESS OTHERWISE NOTED IN THE PLAN).
15. BOX CULVERTS SHALL BE PRECAST PER ALDOT STANDARDS OR CAST IN PLACE IF APPROVED BY ENGINEER.
16. ALL PIPE ENTERING STORM SEWER STRUCTURES SHALL BE GROUTED TO ASSURE THE CONNECTION AT THE STRUCTURE IS WATER TIGHT.
17. ALL STORM SEWER MANHOLES SHALL BE PRECAST AND MEET THE SPECIFICATION OF ASTM C76.
18. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING LIDS.
19. ALL STORM SEWER MANHOLE LIDS SHALL BE LABELED "STORM SEWER"
20. ALL STORM DRAINAGE PIPE AND STRUCTURES SHALL BE CLEANED OF SILT, TRASH AND DEBRIS PRIOR TO DEMOBILIZATION FROM SITE.
21. CONTRACTOR IS TO BEGIN STORM DRAINAGE CONSTRUCTION FROM THE MOST DOWN STREAM POINT OF THE SYSTEM.
22. ALL HEADWALLS SHALL BE PER ALDOT STANDARD HIGHWAY DWGS.
23. INLETS ON 42" OR LARGER PIPE SHALL HAVE CONCRETE RISERS.
24. STORM SEWER CROSSINGS UNDER STREETS TO BE SOLID STONE BACKFILL WITH WEEP HOLES TO INLETS.
25. ALL STORM PIPE INSTALLED WITH LESS THAN 3 FT. OF COVER SHALL BE BACK FILLED WITH STONE.
26. ALL STORM MANHOLES IN GRASSED AREAS SHALL BE FLUSH WITH FINISHED GRADE.
27. ALL DRAINAGE STRUCTURES MAY BE PRE-CAST, OR APPROVED ALTERNATE, IF APPROVED BY ENGINEER.
28. PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
29. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES.
30. THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
31. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM THE SITE (IF NOT REUSABLE ON SITE) AND FOR CORRECTING HORIZONTAL AND VERTICAL ALIGNMENT OF SLOPES & DITCHES, IF

**STORM DRAINAGE NOTES:**

- NECESSARY AT THE COMPLETION OF CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT AND DEBRIS OUT OF ALL STORM DRAINAGE STRUCTURES UPON THE COMPLETION OF CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
11. A COPY OF THE NPDES PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
12. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS.
13. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES MAY RESULT IN CONSTRUCTION DELAYS DUE TO REGULATORY INTERVENTION.
14. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENTATION CONTROL GUIDANCE, PUBLISHED BY ADEM.
15. EROSION CONTROL MEASURES TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
16. ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BY THE PROJECT ENGINEER AND/OR THE LOCAL INSPECTOR.
17. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
18. OTHER THAN LAND CLEARING ACTIVITIES REQUIRED TO INSTALL THE APPROPRIATE BMP DEVICES, ANY DOWNSLOPE EROSION AND SEDIMENT CONTROL MEASURES, ON-SITE STREAM CHANNEL PROTECTION AND UP-SLOPE DIVERSION OF DRAINAGE REQUIRED BY THE BMP PLAN SHALL BE IN PLACE AND FUNCTIONAL BEFORE ANY CLEARING OR EARTH-MOVING OPERATIONS BEGIN.
19. CONTRACTOR TO PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF 13 DAYS OR MORE.
20. ADEQUATE PROTECTIVE MEASURES SHALL BE PROVIDED FOR THE CONTAINMENT OF HAZARDOUS SUBSTANCES AND ANY OTHER MATERIALS WHICH MAY POLLUTE.
21. ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, MONTHLY IN DRY PERIODS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY 0.75 INCH RAINFALL.
22. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "NOTICE OF INTENT"(NOI) FROM ADEM.
23. SLOPE STABILIZATION MAT SHALL BE USED AS DEPICTED BY THE EROSION CONTROL PLANS.
24. THE CONTRACTOR SHALL KEEP A LOG OF QUANTITY OF ALL SEDIMENT MATERIALS THAT ARE REMOVED FROM THE PROJECT EROSION AND SEDIMENT CONTROL DEVICES.
25. DEWATERING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND AT HIS/HER EXPENSE.
48. THE CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL BUILDING ENTRANCES, TO INCLUDE SANITARY SEWER SERVICE, DOMESTIC & IRRIGATION WATER SERVICES, ELECTRICAL TELEPHONE & GAS SERVICE.
49. ALL UTILITY LEADS TO BUILDINGS SHALL END 5 FT OUTSIDE THE FACE OF THE EXTERIOR BUILDING WALL.
50. SITE CONTRACTOR SHALL COORDINATE CONNECTIONS TO UTILITY MAINS WITH THE UTILITY AUTHORITIES.
51. THE CONTRACTOR SHALL MEET WITH THE GOVERNING AUTHORITY'S INSPECTORS A MINIMUM OF 48 HOURS PRIOR TO COMMENCING UTILITY WORK.
52. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE GOVERNING AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.
53. EXISTING UTILITIES SHOWN IN THIS PLAN SET ARE FROM VARIOUS SOURCES SUCH AS FIELD LOCATES, UTILITY SERVICE PROVIDER MAPS & SURFACE EVIDENCE.
54. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE GOVERNING AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.
55. EXISTING UTILITIES SHOWN IN THIS PLAN SET ARE FROM VARIOUS SOURCES SUCH AS FIELD LOCATES, UTILITY SERVICE PROVIDER MAPS & SURFACE EVIDENCE.

**SEDIMENT AND EROSION CONTROL NOTES:**

- NECESSARY AT THE COMPLETION OF CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR CLEANING SILT AND DEBRIS OUT OF ALL STORM DRAINAGE STRUCTURES UPON THE COMPLETION OF CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
11. A COPY OF THE NPDES PERMIT SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
12. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS.
13. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES MAY RESULT IN CONSTRUCTION DELAYS DUE TO REGULATORY INTERVENTION.
14. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL CONFORM TO THE LATEST EROSION AND SEDIMENTATION CONTROL GUIDANCE, PUBLISHED BY ADEM.
15. EROSION CONTROL MEASURES TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
16. ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BY THE PROJECT ENGINEER AND/OR THE LOCAL INSPECTOR.
17. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
18. OTHER THAN LAND CLEARING ACTIVITIES REQUIRED TO INSTALL THE APPROPRIATE BMP DEVICES, ANY DOWNSLOPE EROSION AND SEDIMENT CONTROL MEASURES, ON-SITE STREAM CHANNEL PROTECTION AND UP-SLOPE DIVERSION OF DRAINAGE REQUIRED BY THE BMP PLAN SHALL BE IN PLACE AND FUNCTIONAL BEFORE ANY CLEARING OR EARTH-MOVING OPERATIONS BEGIN.
19. CONTRACTOR TO PROVIDE TEMPORARY GROUND COVER FOR ALL AREAS WITH EXPOSED SOIL WHICH WILL NOT BE DISTURBED BY GRADING OPERATIONS FOR A PERIOD OF 13 DAYS OR MORE.
20. ADEQUATE PROTECTIVE MEASURES SHALL BE PROVIDED FOR THE CONTAINMENT OF HAZARDOUS SUBSTANCES AND ANY OTHER MATERIALS WHICH MAY POLLUTE.
21. ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, MONTHLY IN DRY PERIODS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY 0.75 INCH RAINFALL.
22. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "NOTICE OF INTENT"(NOI) FROM ADEM.
23. SLOPE STABILIZATION MAT SHALL BE USED AS DEPICTED BY THE EROSION CONTROL PLANS.
24. THE CONTRACTOR SHALL KEEP A LOG OF QUANTITY OF ALL SEDIMENT MATERIALS THAT ARE REMOVED FROM THE PROJECT EROSION AND SEDIMENT CONTROL DEVICES.
25. DEWATERING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND AT HIS/HER EXPENSE.
48. THE CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL BUILDING ENTRANCES, TO INCLUDE SANITARY SEWER SERVICE, DOMESTIC & IRRIGATION WATER SERVICES, ELECTRICAL TELEPHONE & GAS SERVICE.
49. ALL UTILITY LEADS TO BUILDINGS SHALL END 5 FT OUTSIDE THE FACE OF THE EXTERIOR BUILDING WALL.
50. SITE CONTRACTOR SHALL COORDINATE CONNECTIONS TO UTILITY MAINS WITH THE UTILITY AUTHORITIES.
51. THE CONTRACTOR SHALL MEET WITH THE GOVERNING AUTHORITY'S INSPECTORS A MINIMUM OF 48 HOURS PRIOR TO COMMENCING UTILITY WORK.
52. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE GOVERNING AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.
53. EXISTING UTILITIES SHOWN IN THIS PLAN SET ARE FROM VARIOUS SOURCES SUCH AS FIELD LOCATES, UTILITY SERVICE PROVIDER MAPS & SURFACE EVIDENCE.

**WATER NOTES:**

- 1. ALL DOMESTIC AND IRRIGATION SERVICE LINES SHALL BE PER NORTH BALDWIN UTILITIES.
2. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
3. SITE CONTRACTOR SHALL COORDINATE TAPS WITH NORTH BALDWIN UTILITIES. THE CONTRACTOR

- SHALL COORDINATE WITH THE DEVELOPER FOR ALL CHARGES, FEES ETC. ASSOCIATED WITH THE WATER CONNECTION.
4. MINIMUM COVER FOR ALL WATER MAINS SHALL BE 3' MINIMUM OR AS REQUIRED BY NORTH BALDWIN UTILITIES.
5. THE CONTRACTOR SHALL MEET WITH THE NORTH BALDWIN UTILITIES INSPECTORS A MINIMUM OF 24 HOURS PRIOR TO COMMENCING UTILITY WORK.
6. WHEN UTILITIES ARE INSTALLED PARALLEL TO EACH OTHER, THE CONTRACTOR SHALL MAINTAIN A 5' HORIZONTAL AND 2' VERTICAL SEPARATION BETWEEN WATER SERVICE AND OTHER UTILITIES.
7. PIPE SIZES 3" AND SMALLER SHALL BE TYPE "K" COPPER OR OTHER MATERIAL SPECIFIED BY NORTH BALDWIN UTILITIES STANDARDS.

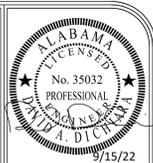
**SANITARY SEWER NOTES:**

- 1. ALL SANITARY SEWER INFRASTRUCTURE SHALL BE PER NORTH BALDWIN UTILITIES STANDARDS & SPECIFICATIONS.
2. TRENCHES WITHIN EXISTING ROADWAYS SHALL BE BACKFILLED FULL DEPTH WITH CRUSHED STONE TO BOTTOM OF PAVEMENT.
3. OPENINGS MADE TO EXISTING SANITARY SEWER MANHOLES SHALL BE CORE DRILLED.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND COMPLETING ALL OF NORTH BALDWIN UTILITIES TESTING REQUIREMENTS.

**TRAFFIC CONTROL NOTES:**

- 1. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE LATEST EDITION AND REVISION OF PART VI OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPROVED TRAFFIC CONTROL PLAN FOR ALL CONSTRUCTION WITHIN WORK AREAS SHOWN AND DESCRIBED IN PART VI OF THE MUTCD.
2. PERMANENT ROADWAY SIGNS OR TEMPORARY CONSTRUCTION SIGNS WHICH ARE NOT APPLICABLE OR INAPPROPRIATE FOR THE CURRENT CONDITIONS SHALL BE COVERED OR REMOVED.
3. THE DIMENSIONS SHOWN OR DESCRIBED FOR LOCATING CONSTRUCTION SIGNS ARE NOMINAL. THE ACTUAL DIMENSIONS SHALL BE ADJUSTED TO BEST FIT LOCAL CONDITIONS AND PROVIDE MAXIMUM VISIBILITY.
4. IF TRAFFIC CONTROL DEVICES ARE NECESSARY FOR PROPER WARNING AND TRAFFIC CONTROL AFTER SUNSET, THEN AS A MINIMUM, TYPE "B" WARNING LIGHTS SHALL BE PLACED ON THE FIRST WARNING SIGN AND CHANNELIZING DRUM AND TYPE "A" REFLECTIVE SHEETING SHALL BE REQUIRED ON ALL SIGNS.
5. HAZARDOUS CONDITIONS ON OPEN ROADWAYS SUCH AS PAVEMENT DROP-OFFS IN EXCESS OF 2" CONSTRUCTION MATERIALS, VEHICLES, OR EQUIPMENT STORED OR PLACED WITHIN THE ROADWAY RIGHT-OF-WAY; AND OPEN TRENCHES ACROSS OR NEAR THE ROADWAY SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR IS ON SITE AND WORKING, AND PROPER TRAFFIC CONTROL MEASURES ARE BEING TAKEN.
6. THE CONTRACTOR SHALL KEEP OPEN ROADWAYS CLEAN AND FREE OF CONSTRUCTION DEBRIS, DIRT, LOOSE GRAVEL OR OTHER MATERIAL THAT MAY CAUSE HAZARDOUS DRIVING CONDITIONS.
7. TRAFFIC CONTROL DEVICES SHALL MEET THE STANDARD MATERIAL AND INSTALLATION REQUIREMENTS SPECIFIED IN THE CURRENT EDITION OF THE AL.D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
8. ROADWAYS AND DRIVEWAYS SHALL REMAIN OPEN DURING CONSTRUCTION.
9. CHANNELIZING DEVICES SHALL BE PLACED AT 10' ON CENTER ALONG MINIMUM 20' RADII TO CHANNELIZE TRAFFIC INTO AND OUT OF INTERSECTING ROAD AND DRIVES WITHIN AREAS WHERE CHANNELIZING DEVICES ARE REQUIRED.

CAUTION NOTICE TO CONTRACTOR: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON MARKINGS AND/OR RECORDS BY OTHERS. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL ALABAMA 811 AS REQUIRED BY LAW TO HAVE PUBLIC UTILITIES MARKED. THE CONTRACTOR SHALL ALSO NOTIFY ANY OTHER APPROPRIATE UTILITY COMPANIES THAT MAY HAVE UTILITIES WITHIN THE CONSTRUCTION LIMITS AT LEAST 48 HOURS BEFORE ANY SITE DISTURBANCE OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



PELHAM, AL 120 BISHOP CIRCLE SUITE 300 PELHAM, AL 35124 (205) 403 - 9158
FOLEY, AL 1000 E. LAUREL STREET FOLEY, AL 36535 (251) 943 - 8960

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REVISIONS

PROJECT ADDRESS: 131 MCMEANS AVENUE BAY MINNETTE, AL
SHEET TITLE: GENERAL NOTES

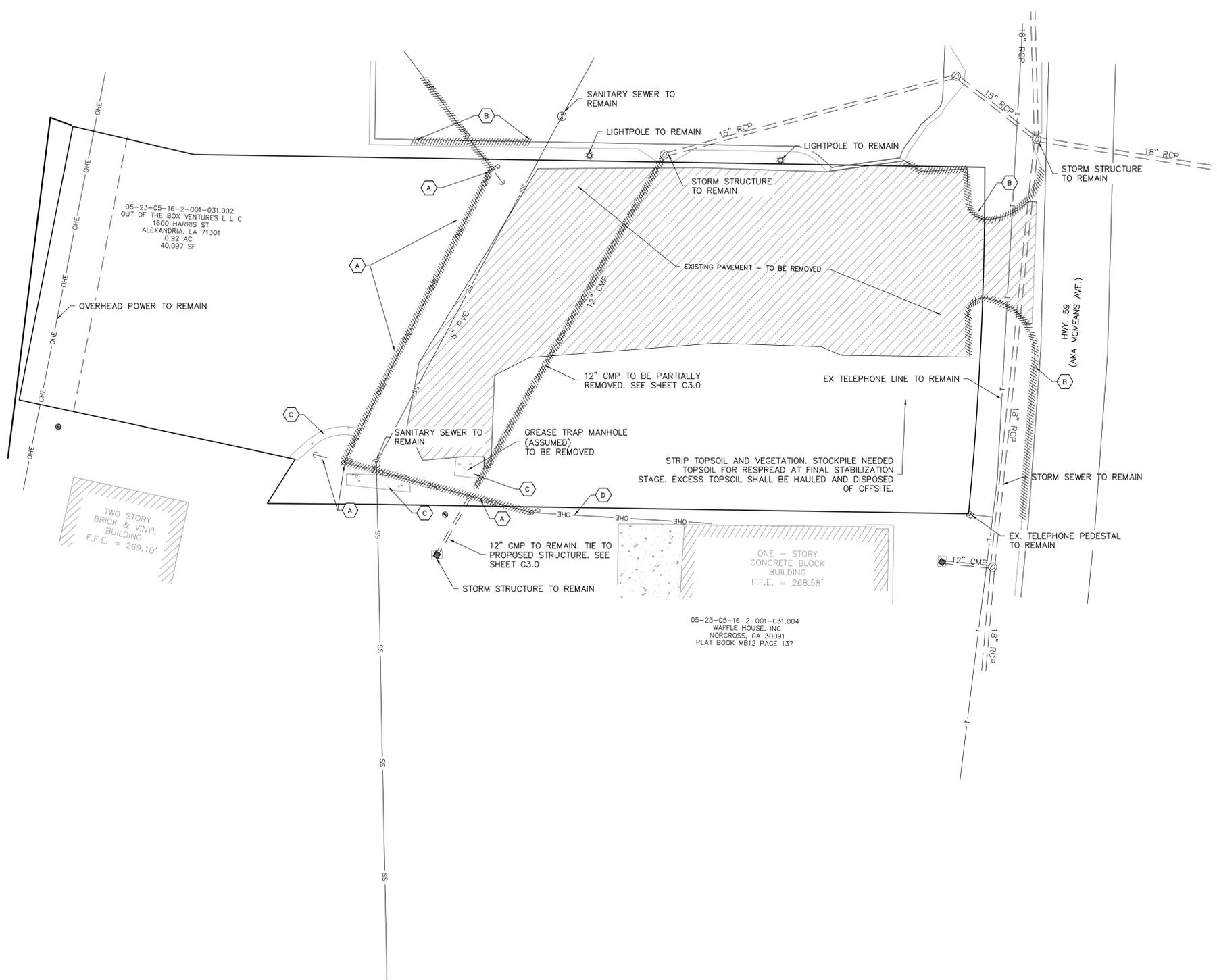
PROJECT NAME: 7 BREW COFFEE
DRAWN BY: AGL
CHECKED BY: DAD
PROJECT No.: F\_GMCO0006
CAD FILE: COVER-NOTES
DATE: August 26, 2022
SHEET NO: C0.1





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05-23-04-17-1-000-019.000  
 OUT OF THE BOX VENTURES L L C  
 1600 HARRIS ST  
 ALEXANDRIA, LA 71301



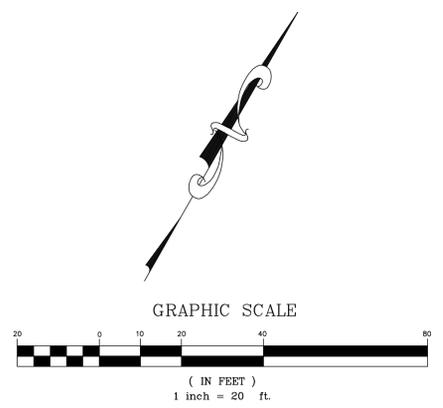
05-23-05-16-2-001-031.002  
 OUT OF THE BOX VENTURES L L C  
 1600 HARRIS ST  
 ALEXANDRIA, LA 71301  
 0.92 AC  
 40,097 SF

TWO STORY  
 BRICK & VINYL  
 BUILDING  
 F.F.E. = 269.10'

05-23-05-16-2-001-031.004  
 WAFFLE HOUSE, INC  
 NOKROSS, GA 30091  
 PLAT BOOK MB12 PAGE 137

- CODED NOTES:**
- (A) EX. ELECTRIC POWER POLE AND OVERHEAD ELECTRIC TO BE RELOCATED. CONTRACTOR TO COORDINATE W/ ELECTRIC UTILITY PROVIDER
  - (B) EX. CURB & GUTTER TO BE REMOVED & DISPOSED OF. SAW CUT FULL DEPTH AT LIMITS OF REMOVAL. COORDINATE LIMITS WITH PROPOSED IMPROVEMENTS.
  - (C) EX. MISC. CONCRETE AREAS TO BE REMOVED.
  - (D) RELOCATION OF EX. ELECTRICAL POWER POLES MAY REQUIRE INTERRUPTION OF SERVICE TO ADJACENT PROPERTIES. THE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL PROVIDER TO ENSURE ANY UNAVOIDABLE INTERRUPTIONS OF SERVICE ARE MINIMIZED.

- NOTES:**
1. SEE SHEET C0.1 FOR GENERAL DEMOLITION NOTES.



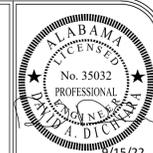
ISSUE ISSUED FOR PERMIT-9/15/22  
 REVISIONS

PROJECT ADDRESS: 131 MCMEANS AVENUE  
 BAY MINETTE, AL  
 SHEET TITLE: EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NAME: 7 BREW COFFEE

DRAWN BY: AGL  
 CHECKED BY: DAD  
 PROJECT NO.: F\_GMCO006  
 CAD FILE: DEMO\_PLAN  
 DATE: September 19, 2022

SHEET NO. C1.0



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**SITE LAYOUT LEGEND**

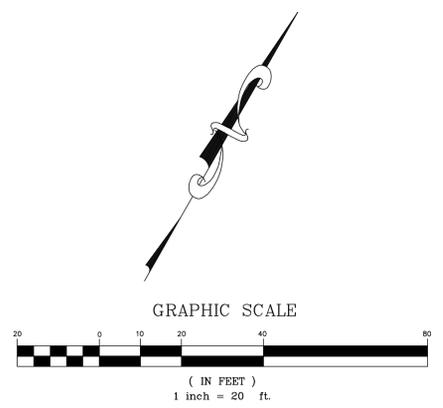
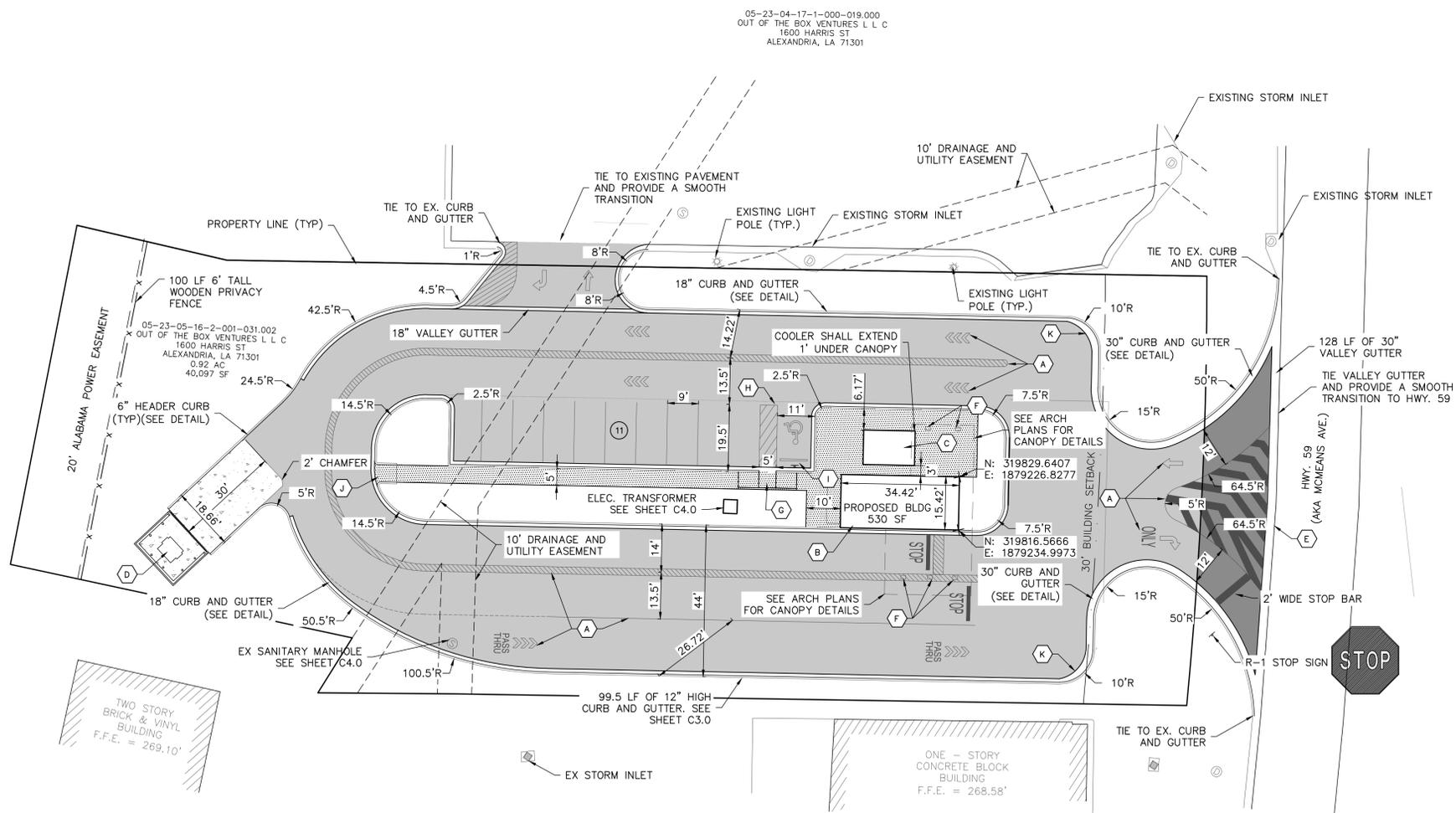
	STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL)
	STANDARD DUTY ASPHALT PAVEMENT FOR ALDOT ROW (SEE DETAIL)
	CONCRETE SIDEWALK (SEE DETAIL)
	CONCRETE PAVING (SEE DETAIL)
	PARKING STALL COUNT

**SITE DATA**

PARCEL NUMBER	05-23-05-16-2-001-031.002
SITE AREA	0.92 AC
CURRENT ZONING	B-2
PROPOSED ZONING	B-2
SETBACK FRONT:	30'
REAR:	0'
SIDE:	0'
BUILDING AREA:	530 S.F.
PARKING REQUIRED	5 SPACES
PARKING PROVIDED	11 SPACES

- CODED NOTES:**
- (A) PAVEMENT MARKINGS (TYP) (SEE DETAILS)
  - (B) PROPOSED 7 BREW BUILDING - (SEE ARCH PLANS FOR DETAILS)
  - (C) PROPOSED COOLER - (SEE ARCH PLANS FOR DETAILS)
  - (D) DUMPSTER ENCLOSURE W/ CONCRETE APRON (SEE ARCH PLANS FOR DETAILS)
  - (E) EXISTING EDGE OF PAVEMENT
  - (F) STRUCTURAL COLUMNS FOR CANOPY (SEE ARCH PLANS FOR DETAILS)
  - (G) ADA INLINE CURB RAMP (SEE DETAIL)
  - (H) ADA PARKING (SEE DETAIL FOR STRIPING)
  - (I) ADA PARKING SIGN IN BOLLARD & WHEELSTOP (SEE DETAIL)
  - (J) CURB RETURN RAMP (SEE DETAIL)
  - (K) TRANSITION FROM 18" GUTTER TO 30" GUTTER

- NOTES:**
- SEE SHEET C0.1 FOR GENERAL SITE LAYOUT NOTES.
  - THE COORDINATES SHOWN FOR THE BUILDING CORNERS ARE FOR BUILDING ENVELOPES AS DIMENSIONED ON PLAN. THE CONTRACTOR SHOULD REVIEW THE BUILDING PLANS TO MAKE ANY NECESSARY ADJUSTMENTS FOR LAYOUT OF BUILDING.
  - DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.



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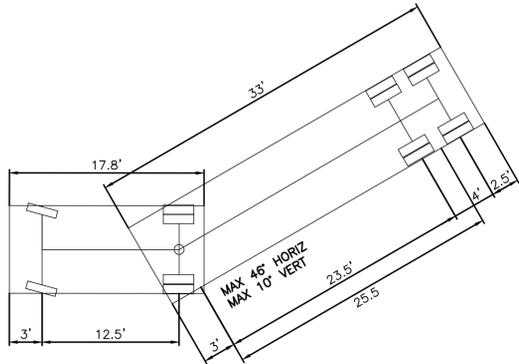
PROJECT ADDRESS:  
 131 MCMEANS AVENUE  
 BAY MINETTE, AL

SHEET TITLE:  
 SITE LAYOUT PLAN

PROJECT NAME:  
 7 BREW COFFEE

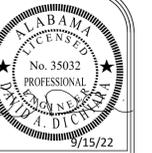
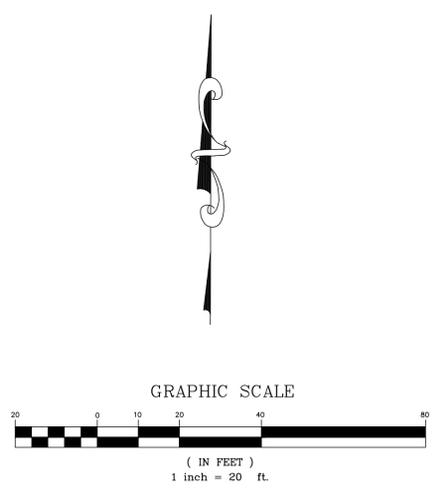
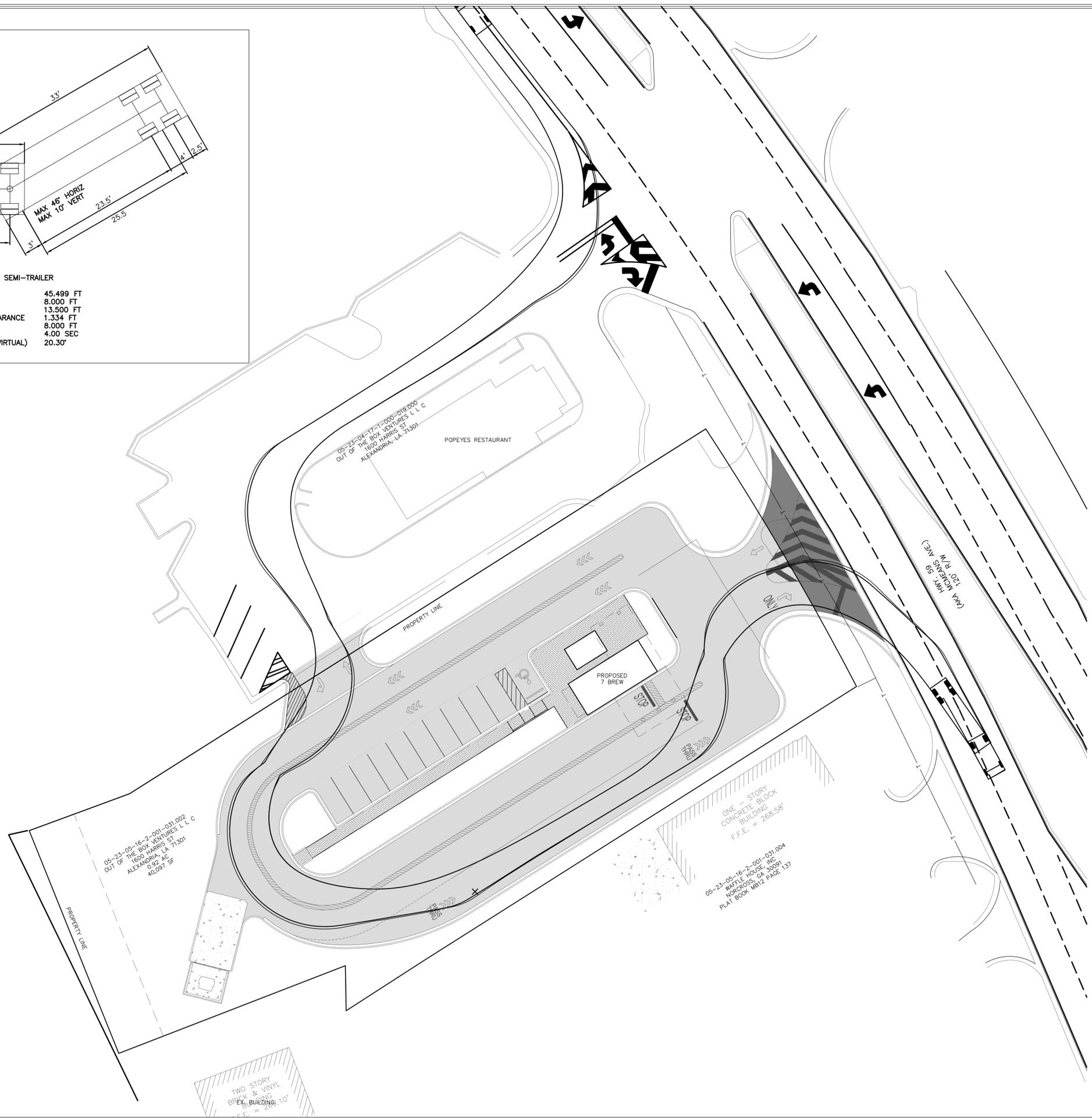
DRAWN BY: AGL  
 CHECKED BY: DAD  
 PROJECT No.: F\_GMCO006  
 CAD FILE: SITE\_PLAN  
 DATE: September 19, 2022

SHEET NO.: C2.0



WB-40 - INTERMEDIATE SEMI-TRAILER

OVERALL LENGTH 45.499 FT  
 OVERALL WIDTH 8.000 FT  
 OVERALL BODY HEIGHT 13.500 FT  
 MIN BODY GROUND CLEARANCE 1.334 FT  
 TRACK WIDTH 8.000 FT  
 LOCK-TO-LOCK TIME 4.00 SEC  
 MAX STEERING ANGLE (VIRTUAL) 20.30°



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 FOLEY, AL 36535  
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ISSUE FOR PERMIT-9/15/22  
 REVISIONS

PROJECT ADDRESS:  
 131 MCMEANS AVENUE  
 BAY MINETTE, AL

SHEET TITLE:  
 TRUCK ROUTE EXHIBIT

PROJECT NAME:  
 7 BREW  
 COFFEE SHOP

DRAWN BY: AGL  
 CHECKED BY: DAD  
 PROJECT No.: F\_GMCO006  
 CAD FILE: TRUCKTURN ALDOT SITE PLAN 2  
 DATE: August 23, 2022

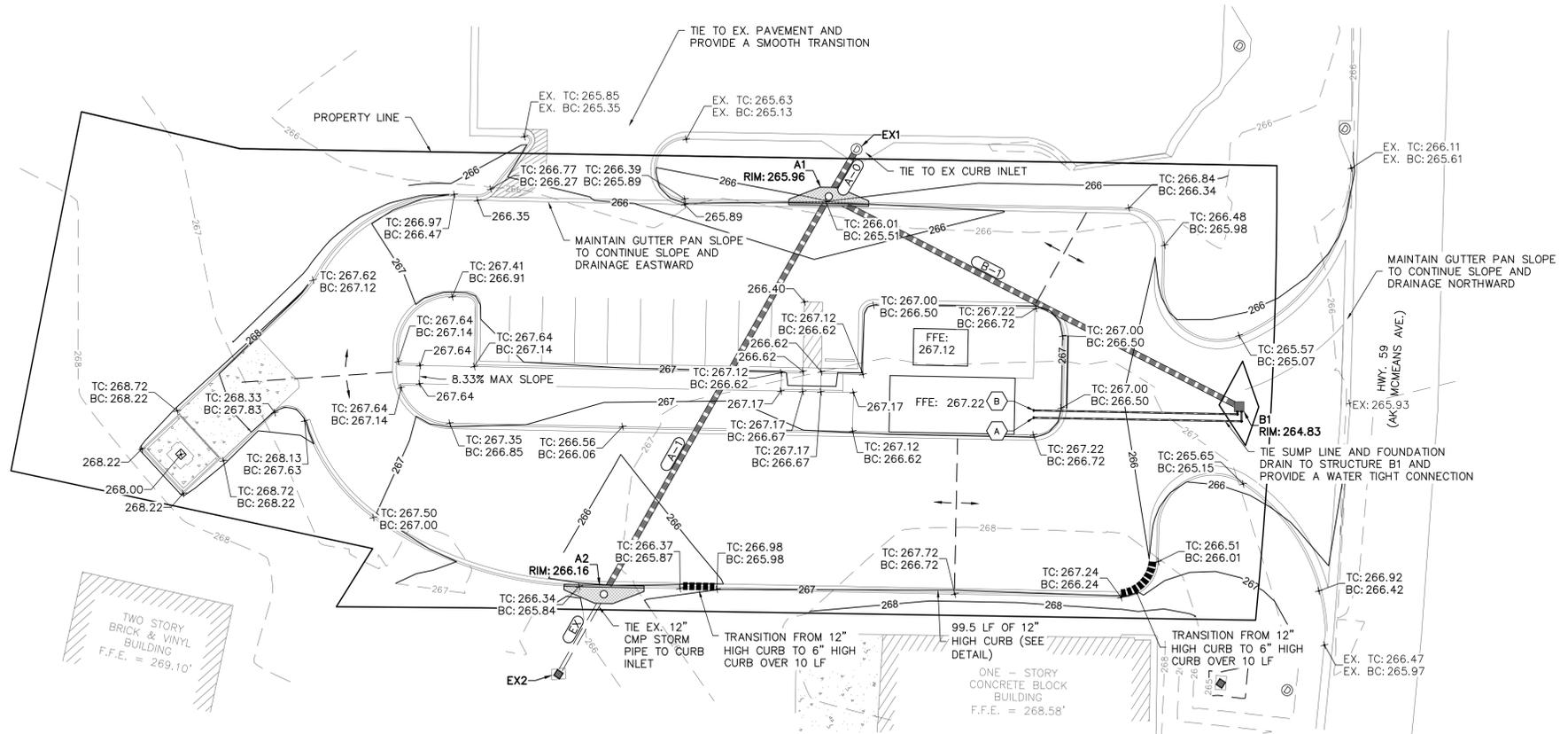
SHEET NO:  
 C2.1



**EDG**  
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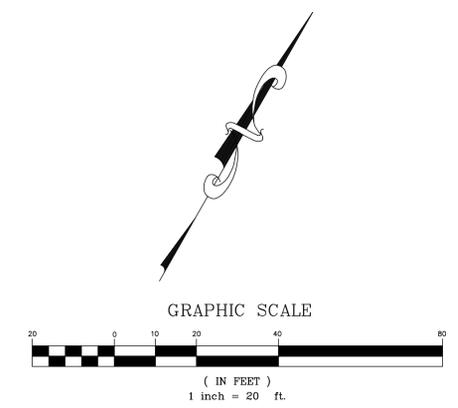
GRADING AND DRAINAGE LEGEND

	195	EX. CONTOUR
	195	PROP. MINOR CONTOUR
	195	PROP. MAJOR CONTOUR
	TC: 195.00 BC: 194.50	TOP OF CURB BOTTOM OF CURB
	EX TC: 195.00 EX BC: 194.50	EXISTING TOP OF CURB EXISTING BOTTOM OF CURB
	194.00	EXISTING SPOT ELEVATION
	194.00	PROP SPOT ELEVATION
		GRADE BREAK
		PROP GRATE INLET
		EX STORM SEWER MANHOLE
		PROP DOUBLE WING STORM INLET
		PROP STORM SEWER PIPE
		EX STORM SEWER PIPE



CODED NOTES:  
 (A) SUMP PUMP LINE. REFERENCE ARCH PLAN FOR CONTINUATION OF SERVICES.  
 (B) 4" HDPE SOLID WALL FOUNDATION DRAIN. SEE STRUCTURAL PLANS FOR DETAILS AT THE BUILDING. INV @ BLDG = 263.22.

- NOTES:
- SEE SHEET C0.1 FOR GENERAL SITE LAYOUT NOTES.
  - MAX SLOPES IN ADA AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
  - MAX VERTICAL SLOPE ON ADA RAMP IS 8.33%.
  - SEE SHEET C3.1 FOR DRAINAGE PIPES AND PROFILES.
  - ALL DOWNSPOUTS ARE TO SPLASH ON GRADE.
  - GROUT ALL PIPES AT STRUCTURE TO ENSURE A WATER TIGHT CONNECTION.



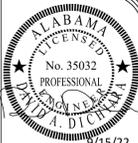
ISSUE FOR PERMIT-9/15/22  
REVISIONS

PROJECT ADDRESS: 131 MCMEANS AVENUE  
BAY MINETTE, AL  
SHEET TITLE: GRADING & DRAINAGE PLAN

PROJECT NAME: 7 BREW COFFEE

DRAWN BY: AGL  
CHECKED BY: DAD  
PROJECT No.: F\_GMCO006  
CAD FILE: GRADING\_PLAN  
DATE: September 19, 2022

SHEET NO. C3.0



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 REVISIONS

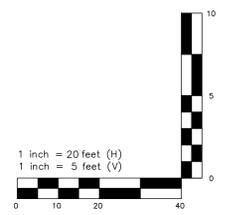
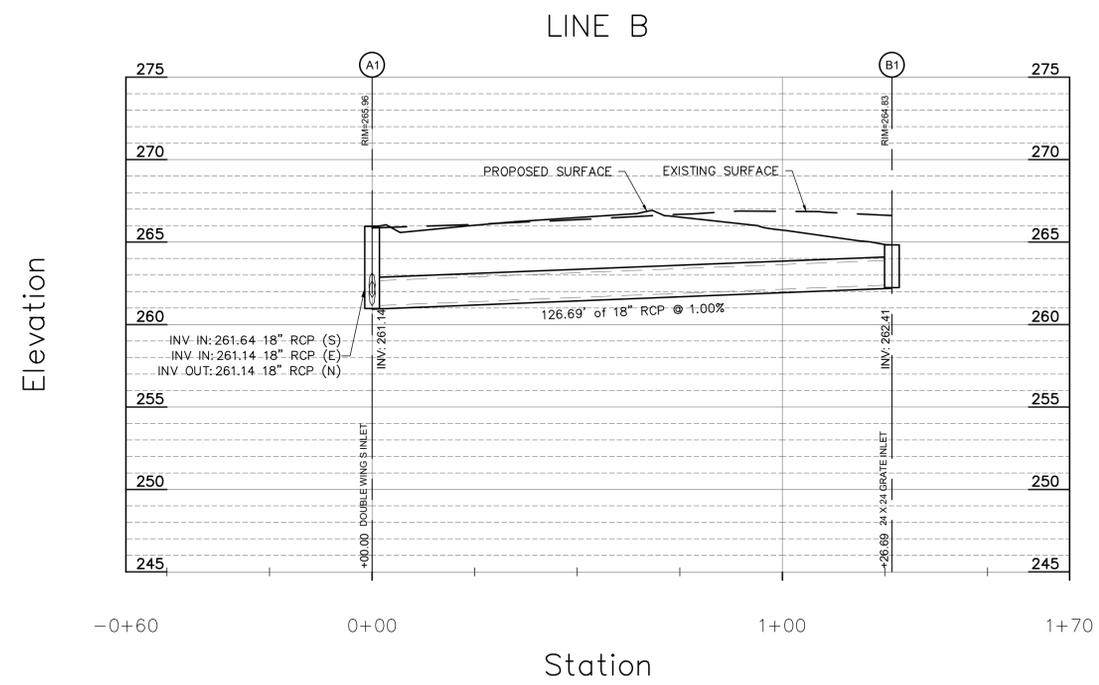
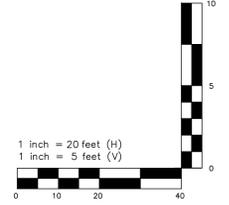
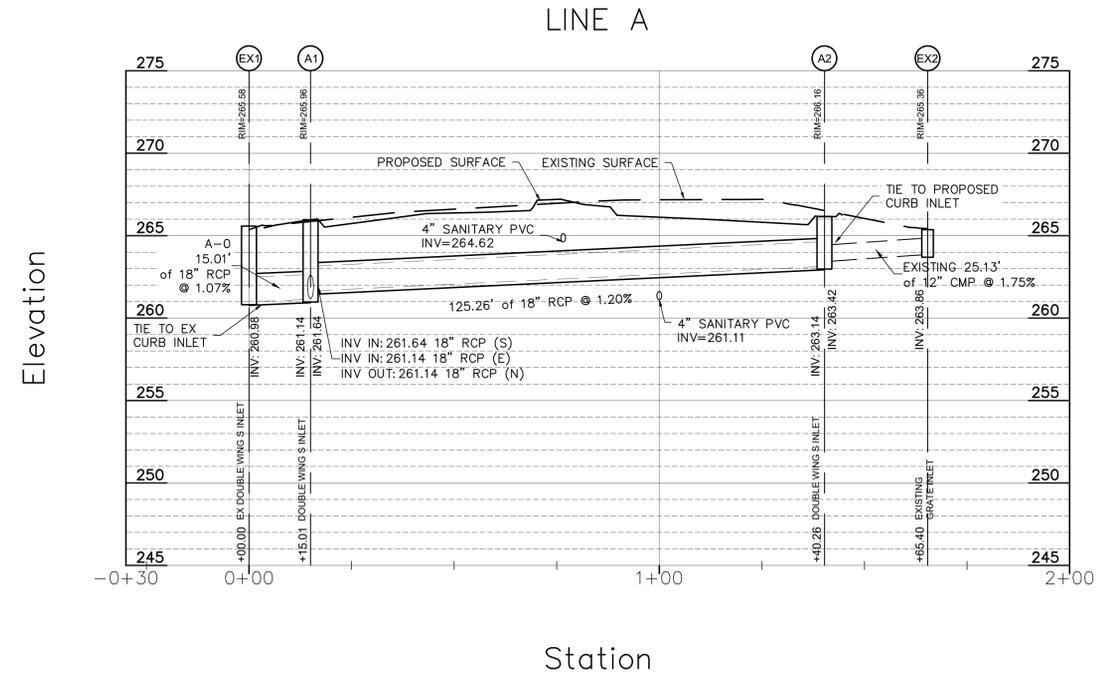
PROJECT ADDRESS:  
 131 MCMEANS AVENUE  
 BAY MINETTE, AL

SHEET TITLE  
 STORM PROFILES

PROJECT NAME:  
 7 BREW COFFEE

DRAWN BY: AGL  
 CHECKED BY: DAD  
 PROJECT No.: F\_GMCO006  
 CAD FILE: PROP CONTOURS  
 DATE: September 15, 2022

SHEET NO.  
 C3.1



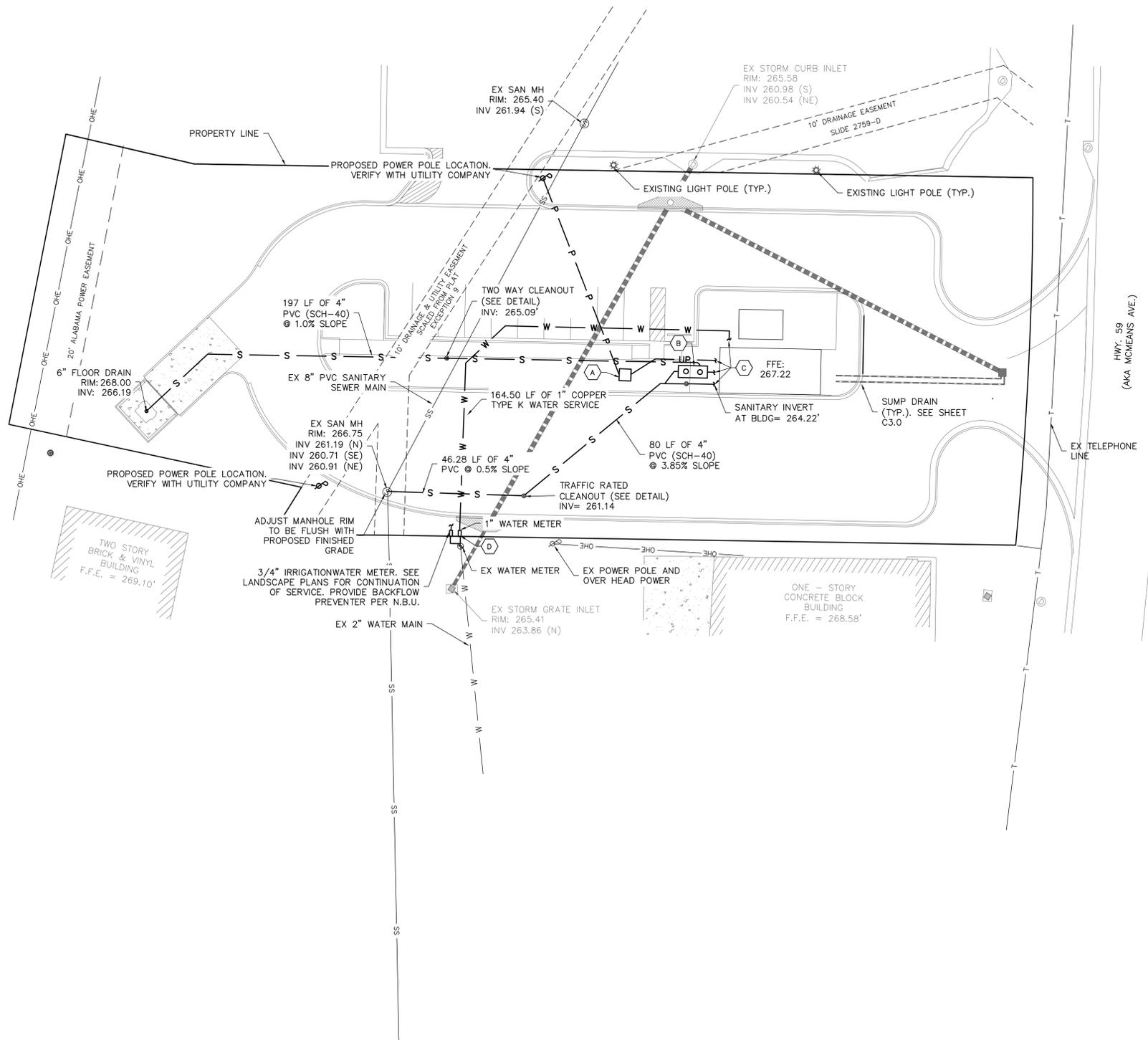
NOTES:  
 1. "RIM" DENOTES TOP OF STRUCTURE.



ENGINEERING DESIGN GROUP  
 PELHAM, AL  
 120 BISHOP CIRCLE SUITE 300  
 PELHAM, AL 35124  
 (205) 403-9158  
 FOLEY, AL  
 1000 E. LAUREL STREET  
 FOLEY, AL 36535  
 (251) 943-8860

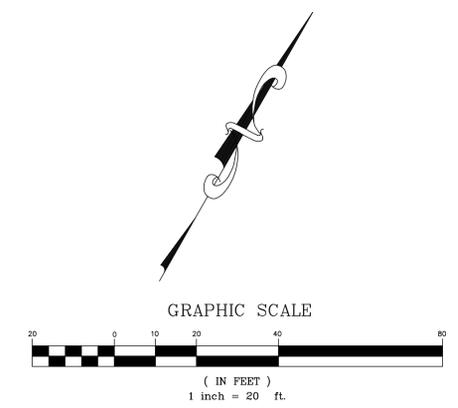
UTILITY PLAN LEGEND

—W—	WATER LINE
—SS—	SANITARY SEWER MAIN
—S—	SANITARY SEWER SERVICE
—UP—	UNDERGROUND POWER
—OHE—	OVERHEAD ELECTRIC
⊙	SANITARY SEWER MANHOLE
⊙	CLEANOUT
⊙	POWER POLE



- CODED NOTES:
- (A) PROPOSED ELECTRIC TRANSFORMER LOCATION
  - (B) SANITARY SEWER GREASE TRAP (1,000 GALLON MIN.)
  - (C) REFERENCE ARCHITECTURAL PLANS FOR CONTINUATION OF SERVICES TO THE BUILDING.
  - (D) THE CONTRACTOR SHALL COORDINATE WITH NORTH BALDWIN UTILITIES FOR CONNECTION TO EXISTING WATER MAIN. NORTH BALDWIN UTILITIES WILL COMPLETE THE TAP AND SET WATER METERS.

- NOTES:
- SEE SHEET C0.1 FOR GENERAL SITE LAYOUT NOTES.
  - REFER TO MEP AND ARCHITECTURAL PLANS FOR CONTINUATION OF UTILITY SERVICES TO THE BUILDING.
  - LOCATION OF EXISTING UTILITY SERVICES ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH.



ISSUE FOR PERMIT-9/15/22  
 REVISIONS

PROJECT ADDRESS:  
 131 MCMEANS AVENUE  
 BAY MINETTE, AL

SHEET TITLE  
 UTILITY PLAN

PROJECT NAME:  
 7 BREW COFFEE

DRAWN BY: AGL  
 CHECKED BY: DAD  
 PROJECT No.: F\_GMCO006  
 CAD FILE: UTILITY\_PLAN  
 DATE: September 19, 2022

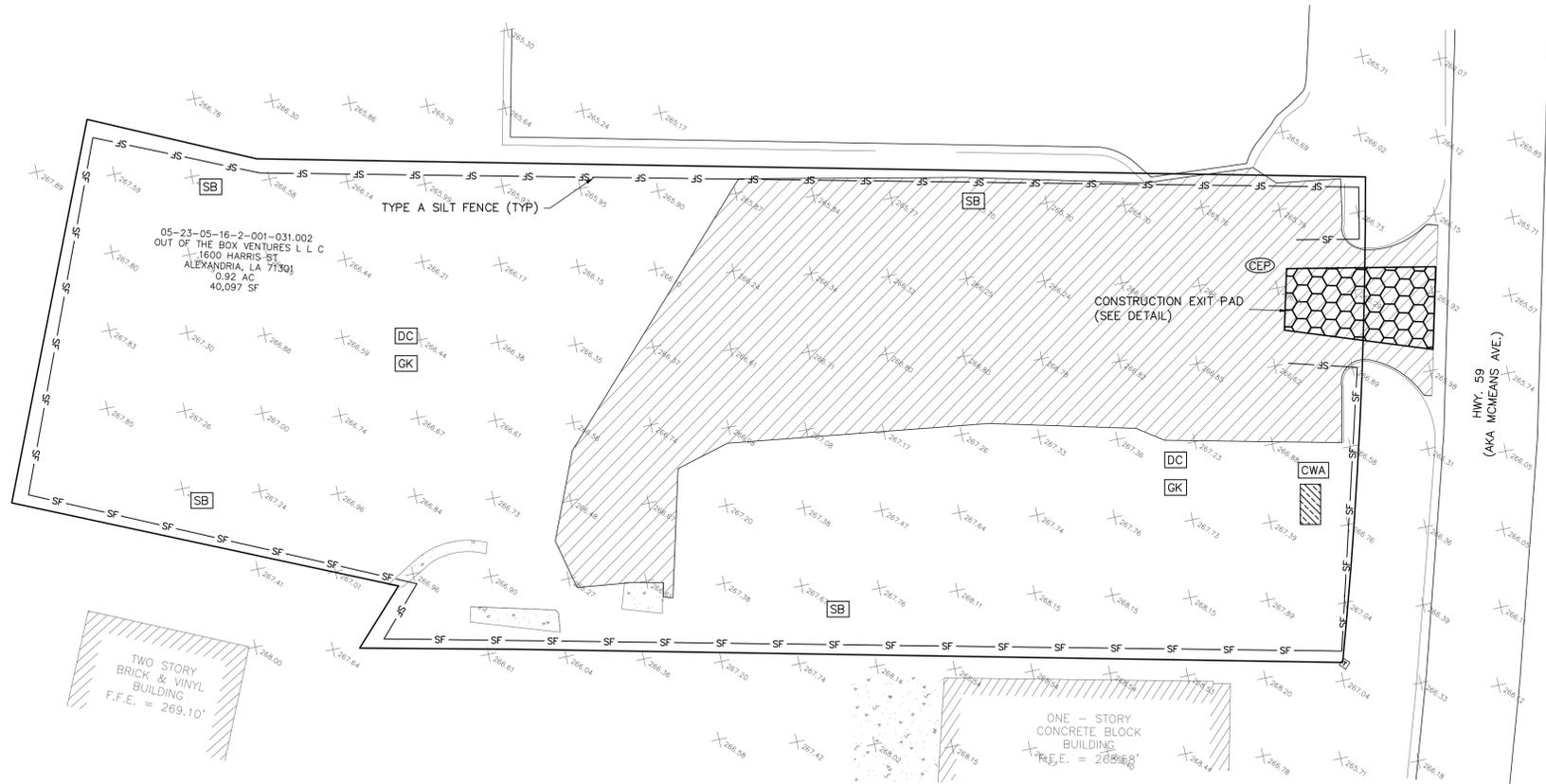
SHEET NO.  
 C4.0



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 PELHAM, AL 35124  
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 FOLEY, AL 36535  
 (251) 943 - 8960

TEMPORARY EROSION CONTROL MEASURES LEGEND	
[DC]	DUST CONTROL
[GK]	GROUNDS KEEPING
[SB]	SILT FENCE (TYPE-A)
[CEP]	GRAVEL CONSTRUCTION EXIT PAD
[CWA]	CONCRETE WASHOUT AREA

05-23-04-17-1-000-019.000  
 OUT OF THE BOX VENTURES L L C  
 1600 HARRIS ST  
 ALEXANDRIA, LA 71301

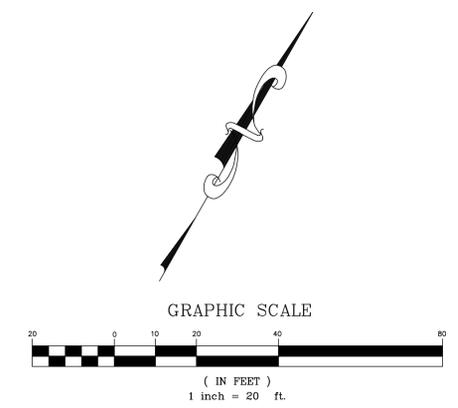


05-23-05-16-2-001-031.002  
 OUT OF THE BOX VENTURES L L C  
 1600 HARRIS ST  
 ALEXANDRIA, LA 71301  
 0.92 AC  
 40,097 SF

TWO STORY  
 BRICK & VINYL  
 BUILDING  
 F.F.E. = 269.10'

05-23-05-16-2-001-031.004  
 WAFFLE HOUSE, INC  
 NORCROSS, GA 30091  
 PLAT BOOK MB12 PAGE 137

- NOTES:
- SEE LANDSCAPING PLAN FOR COORDINATION OF FINAL SITE STABILIZATION AND LANDSCAPING. ENSURE ALL AREAS DISTURBED ON SITE ARE STABILIZED AT COMPLETION OF PROJECT AND ALL CONSTRUCTION DEBRIS HAS BE REMOVED FROM SITE.
  - THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS TO MAINTAIN AND ADD ADDITIONAL MEASURES AS NECESSARY TO ENSURE NO SEDIMENT LEAVES THE SITE.
  - SEE SHEET C0.1 FOR EROSION CONTROL GENERAL NOTES
  - REMOVE MINIMUM ASPHALT AS NECESSARY TO INSTALL SILT FENCE AT INITIAL CONSTRUCTION PHASE.



ISSUE FOR PERMIT-9/15/22  
 REVISIONS

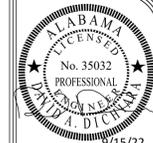
PROJECT ADDRESS:  
 131 MCMEANS AVENUE  
 BAY MINETTE, AL

SHEET TITLE:  
 EROSION CONTROL PH 1

PROJECT NAME:  
 7 BREW COFFEE

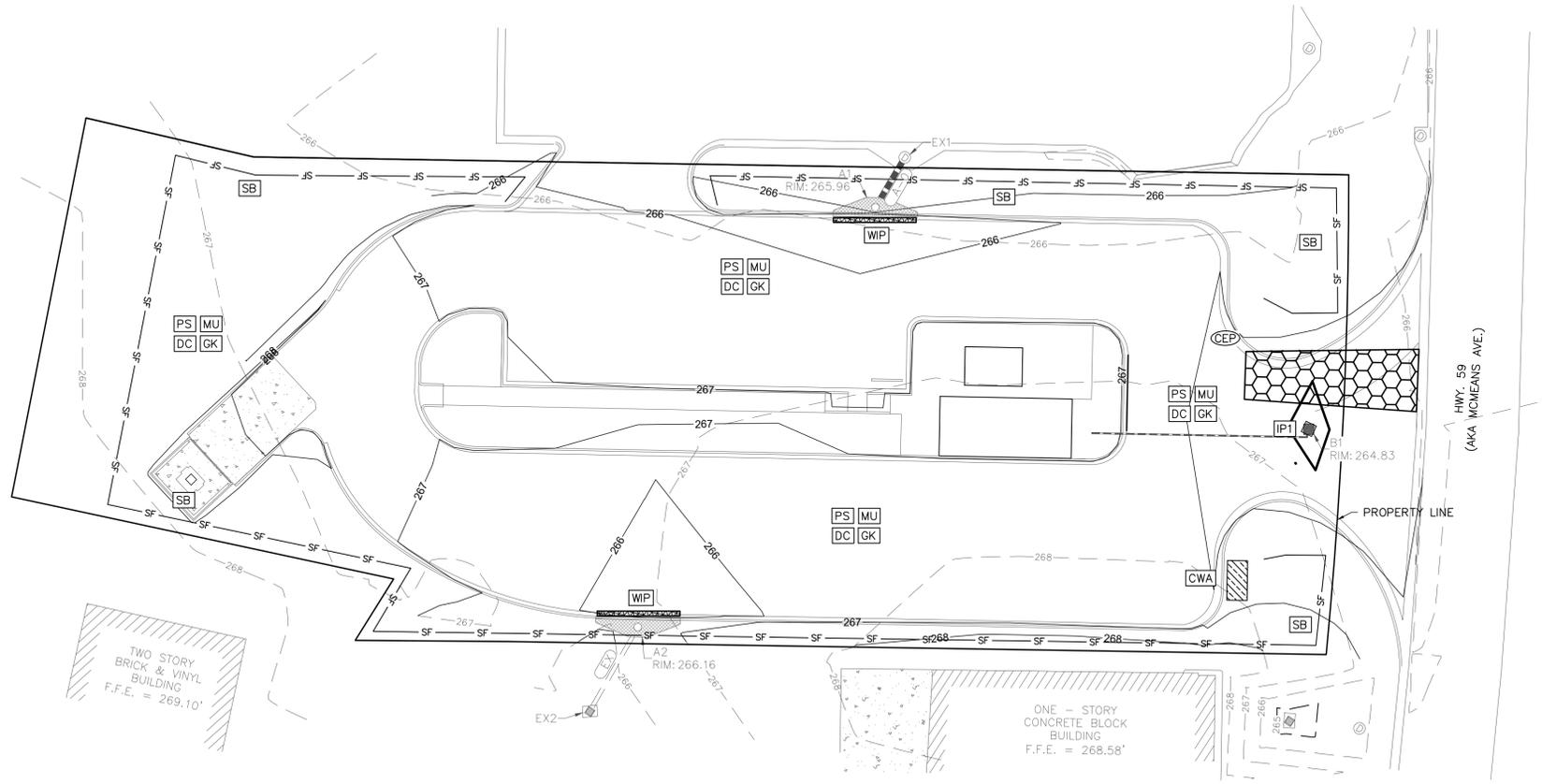
DRAWN BY: AGL  
 CHECKED BY: DAD  
 PROJECT No.: F\_GMCO006  
 CAD FILE: EROSION1  
 DATE: September 19, 2022

SHEET NO:  
 C5.0

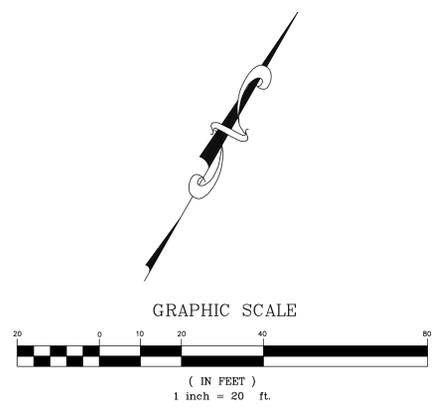


**EDG**  
 ENGINEERING DESIGN GROUP  
 PELHAM, AL  
 120 BISHOP CIRCLE SUITE 300  
 PELHAM, AL 35124  
 (205) 403-9158  
 FOLEY, AL  
 1000 E. LAUREL STREET  
 FOLEY, AL 36535  
 (251) 943-8860

TEMPORARY EROSION CONTROL MEASURES LEGEND	
	PERMANENT SEEDING
	MULCHING
	DUST CONTROL
	GROUNDS KEEPING
	SILT FENCE
	GRAVEL CONSTRUCTION EXIT PAD
	DANDY INLET PROTECTION
	WATTLE INLET PROTECTION
	CONCRETE WASHOUT AREA



- NOTES:
- SEE LANDSCAPING PLAN FOR COORDINATION OF FINAL SITE STABILIZATION AND LANDSCAPING. ENSURE ALL AREAS DISTURBED ON SITE ARE STABILIZED AT COMPLETION OF PROJECT AND ALL CONSTRUCTION DEBRIS HAS BEEN REMOVED FROM SITE.
  - THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS TO MAINTAIN AND ADD ADDITIONAL MEASURES AS NECESSARY TO ENSURE NO SEDIMENT LEAVES THE SITE.
  - SEE SHEET CD.1 FOR GENERAL EROSION CONTROL NOTES.
  - IMMEDIATELY PRIOR TO FINAL STABILIZATION, ALL SILT AND SEDIMENT SHALL BE CLEARED FROM THE STORM DRAIN PIPES.



ISSUE FOR PERMIT-9/15/22  
 REVISIONS

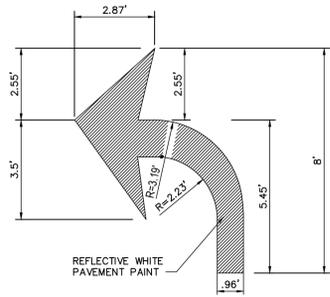
PROJECT ADDRESS:  
 131 MCMEANS AVENUE  
 BAY MINNETTE, AL

SHEET TITLE:  
 EROSION CONTROL PH 2

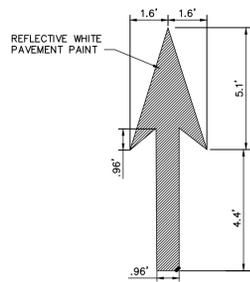
PROJECT NAME:  
 7 BREW COFFEE

DRAWN BY: AGL  
 CHECKED BY: DAD  
 PROJECT No.: F\_GMCO006  
 CAD FILE: EROSION2  
 DATE: September 19, 2022

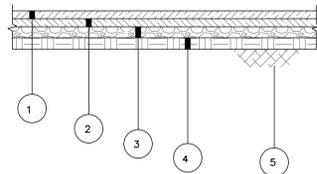
SHEET NO.: C5.1



**PAINTED TURN ARROW**  
N.T.S.

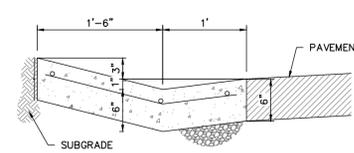


**PAINTED STRAIGHT ARROW**  
N.T.S.



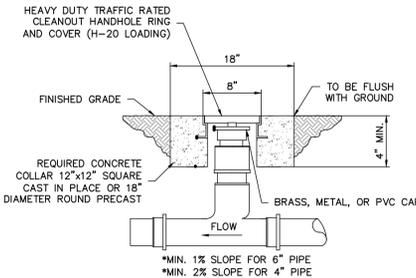
1. SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER, 1/2" MAXIMUM AGGREGATE SIZE MIX, P.S.A. RANGE C/D, APPROXIMATELY 135 POUNDS PER SQUARE YARD ITEM: 424A-360
  2. SUPERPAVE BITUMINOUS CONCRETE UPPER BINDER LAYER, 1" MAXIMUM AGGREGATE SIZE MIX, P.S.A. RANGE C/D, APPROXIMATELY 250 POUNDS PER SQUARE YARD ITEM: 424B-651
  3. BITUMINOUS TREATMENT A ITEM: 401A-000
  4. CRUSHED AGGREGATE BASE COURSE, TYPE B, PLANT MIXED, 6" COMPACTED THICKNESS ITEM: 301A-012
  5. BORROW EXCAVATION [(A-2-4(0) OR A-4(0)] ITEM: 2100-012
- NOTE: COMPACT TO 100% OF AASHTO T-99

**STANDARD DUTY ASPHALT IN ALDOT ROW**  
N.T.S.

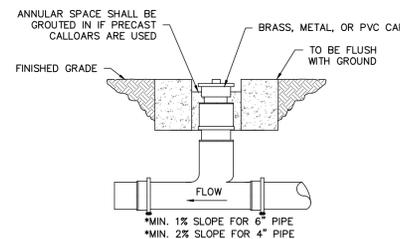


- NOTES:
1. SLOPE GUTTER AS SHOWN ACCORDING TO PAVING SLOPE.
  2. 3/4" EXPANSION JOINT REQUIRED AT P.C.'S AND P.T.'S OF ALL CURVES, AT STRUCTURES (CURB INLETS, WHEELCHAIR RAMPS, ETC.) AND EVERY 100' MAX. WITH FILLER MATERIAL.
  3. 3/16" SAWED JOINTS REQUIRED ON 5' INTERVALS.
  4. PROVIDE 6" CRUSHED STONE BASE UNDER ALL CURBS AND GUTTERS.
  5. REINFORCE WITH #3 REBAR AT 12" EACH WAY. LOCATED 2" FROM TOP SURFACE

**30" VALLEY GUTTER**  
N.T.S.

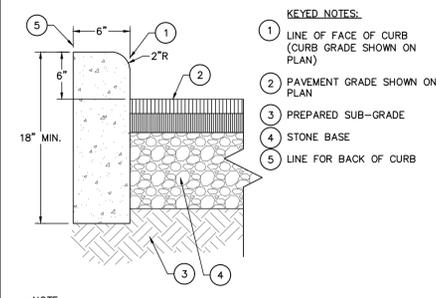


**CLEANOUT IN PAVED AREAS**



- NOTE:
1. CLEANOUTS ARE REQUIRED AT THE EDGE OF ALL EASEMENTS AND RIGHT OF WAYS, UNLESS APPROVED OTHERWISE.

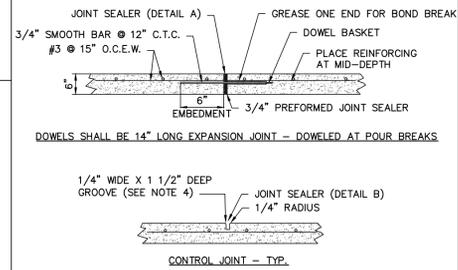
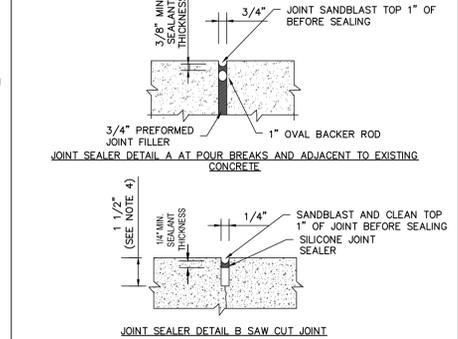
**TYPICAL CLEANOUT**  
N.T.S.



**6" HEADER CURB**  
N.T.S.

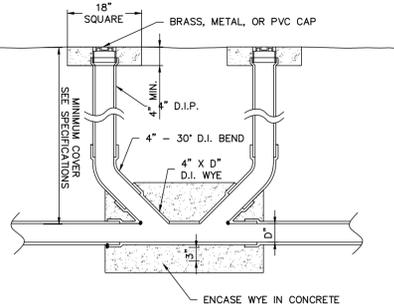
1. REQUIRED 2.5 INCH BITUMINOUS CONCRETE, WEARING LAYER (ALDOT 424A - 2" MAX AGGREGATE SIZE)
  2. REQUIRED BITUMINOUS TREATMENT (PRIME) (ALDOT 401, TYPE A)
  3. REQUIRED 6 INCHES CRUSHED AGGREGATE BASE COURSE, TYPE B. (ALDOT 825)
  4. SUBGRADE: TOP 12 INCHES - 98% COMPACTION ASTM D-698.
- NOTE: ALL MIX DESIGNS ARE PER THE "ALABAMA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION" - 2018 EDITION.

**STANDARD DUTY ASPHALT PAVING**  
N.T.S.

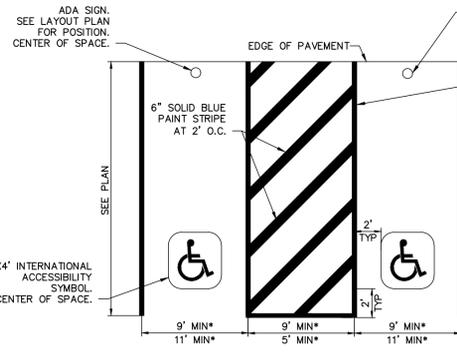


- NOTES:
1. CONTRACTOR SHALL INSTALL 4" OF CRUSHED AGGREGATE BASE COURSE, TYPE B (ALDOT 825) UNDER ALL CONCRETE PAVING
  2. CONCRETE SHALL HAVE 4000 PSI AT 28 DAYS
  3. CONTRACTOR SHALL INSTALL CONTROL JOINTS IN CONCRETE PAVING AT 12' MAX SPACING BOTH WAYS. COORDINATE WITH ARCHITECTURAL PLANS FOR SCORING PATTERN.
  4. CONTROL JOINT TO BE 1/4 OF THE SLAB THICKNESS TYPICALLY.
  5. EXPANSION JOINTS AT POUR BREAKS AND 100' MAX SPACING. COORDINATE WITH CONTROL JOINTS.
  6. IN LIEU OF REINFORCEMENT SHOWN, CONTRACTOR MAY USE 4x4 W2.9/W2.9 WELDED WIRE FABRIC.
  7. IF DRY-CUTTING OF CONTROL JOINTS IS USED, AN ABRASIVE BLADE MAY BE USED IN LIEU OF SANDBLASTING.

**CONCRETE PAVING**  
N.T.S.

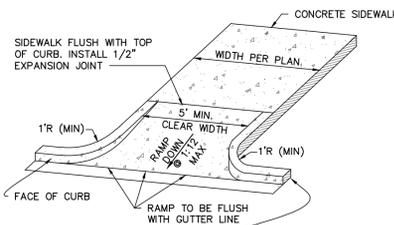


**TWO WAY CLEANOUT**  
N.T.S.

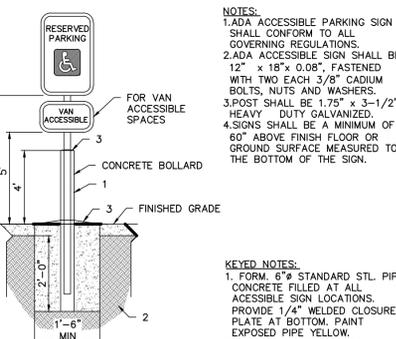


**ACCESSIBLE PARKING**  
N.T.S.

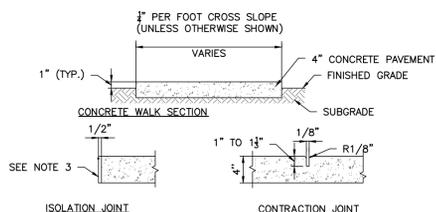
- NOTES:
1. ALL ACCESSIBLE PARKING AND ROUTES TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
  2. FOR VAN SPACE, 9' MINIMUM SPACE WITH 9' MINIMUM ACCESS AISLE OR 11' MINIMUM SPACE WITH 5' MINIMUM ACCESS AISLE.
  3. CAN REPEAT DETAIL IF ADDITIONAL SPACES ARE REQUIRED. (SEE LAYOUT PLAN).
  4. SIGN NOTES:  
a. SIGNS LOCATED IN PAVEMENT SHALL BE BOLLARD TYPE SIGN. SEE BOLLARD MOUNTED ACCESSIBLE SIGN DETAIL.  
b. SIGNS LOCATED BEYOND PAVEMENT SHOULD BE MOUNTED ON POST PER ACCESSIBLE SIGN DETAIL.  
c. DO NOT PLACE SIGNS WITHIN THE ACCESSIBLE ROUTE
  5. CONTRACTOR TO VERIFY WITH LOCAL CODES FOR ANY ADDITIONAL REQUIREMENTS.



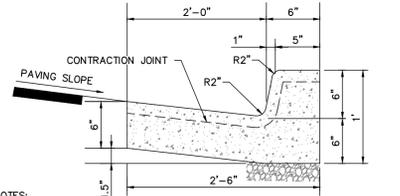
**ADA CURB RETURN RAMP**  
N.T.S.



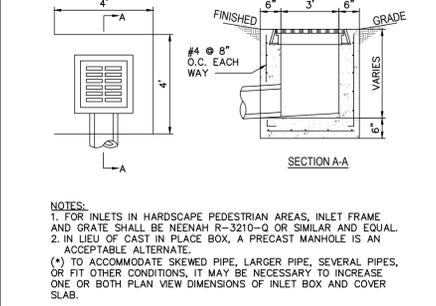
**BOLLARD MOUNTED ADA ACCESSIBLE SIGN**  
N.T.S.



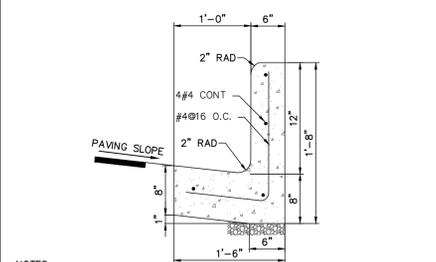
**TYPICAL SIDEWALK DETAIL**  
N.T.S.



**30" CURB & GUTTER**  
N.T.S.

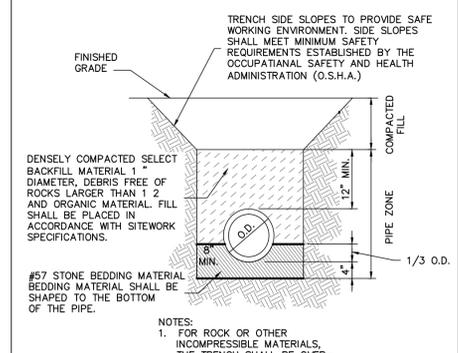


**GRATE INLET IN PAVED AREAS**  
N.T.S.

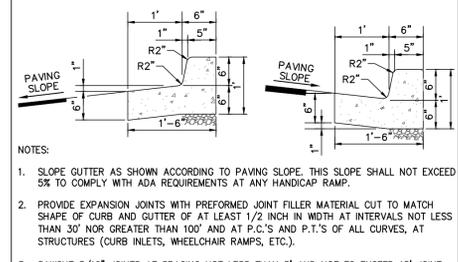


- NOTES:
1. SLOPE GUTTER AS SHOWN ACCORDING TO PAVING SLOPE.
  2. 3/4" EXPANSION JOINT REQUIRED AT P.C.'S AND P.T.'S OF ALL CURVES, AT STRUCTURES (CURB INLETS, WHEELCHAIR RAMPS, ETC.) AND EVERY 100' MAX. WITH FILLER MATERIAL.
  3. 3/16" SAWED JOINTS REQUIRED ON 15' INTERVALS.
  4. 3,000 PSI CONCRETE UNLESS STATED OTHERWISE.
  5. PROVIDE 6" CRUSHED STONE UNDER ALL CURB AND GUTTER.

**12" HIGH CURB & GUTTER**  
N.T.S.



**PIPE BEDDING DETAIL**  
N.T.S.



- NOTES:
1. SLOPE GUTTER AS SHOWN ACCORDING TO PAVING SLOPE. THIS SLOPE SHALL NOT EXCEED 5% TO COMPLY WITH ADA REQUIREMENTS AT ANY HANDICAP RAMP.
  2. PROVIDE EXPANSION JOINTS WITH PREFORMED JOINT FILLER MATERIAL CUT TO MATCH SHAPE OF CURB AND GUTTER OF AT LEAST 1/2 INCH IN WIDTH AT INTERVALS NOT LESS THAN 30' NOR GREATER THAN 100' AND AT P.C.'S AND P.T.'S OF ALL CURVES, AT STRUCTURES (CURB INLETS, WHEELCHAIR RAMPS, ETC.).
  3. SAWCUT 3/16" JOINTS AT SPACING NOT LESS THAN 5' AND NOT TO EXCEED 15' JOINT DEPTH SHALL BE 1/4 DEPTH OF CURB/GUTTER. JOINT TO BE PERPENDICULAR TO THE RUN OF THE CURB AND GUTTER.
  4. IF ADJACENT TO CONCRETE PAVING SIDEWALK LINE UP JOINTS WITH ADJACENT CONCRETE JOINTS.
  5. 3,500 PSI CONCRETE UNLESS STATED OTHERWISE.
  6. PROVIDE 6" CRUSHED STONE UNDER ALL CURBS AND GUTTERS.
  7. VERIFY SHAPE OF CURB TO MATCH ANY EXISTING CONDITIONS OR LOCAL STANDARDS.

**18" CURB & GUTTER**  
N.T.S.



ENGINEERING DESIGN GROUP  
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FOLEY, AL  
1000 E. LAUREL STREET  
FOLEY, AL 36535  
(251) 943-8860

ISSUE FOR PERMIT-9/15/22  
REVISIONS

PROJECT ADDRESS:  
131 MCMEANS AVENUE  
BAY MINETTE, AL

SHEET TITLE

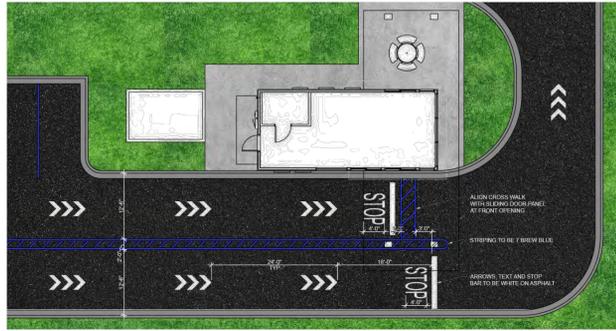
CIVIL DETAILS

7 BREW COFFEE

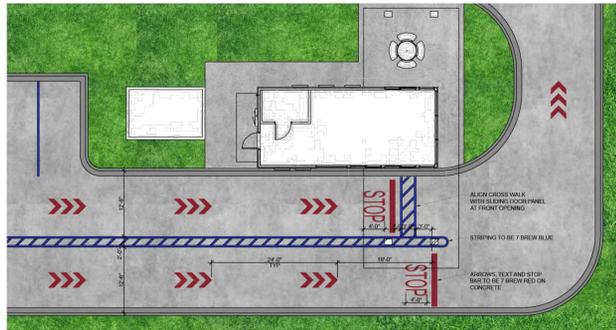
DRAWN BY: AGL  
CHECKED BY: DAD  
PROJECT No.: F\_GMCO006  
CAD FILE: DETAILS  
DATE: August 26, 2022  
SHEET No.: C6.0

**Site Striping**

Asphalt paving surfaces shall have blue striping with the remaining traffic symbols / text to be white. Reference example below and parking lot paint color chart.



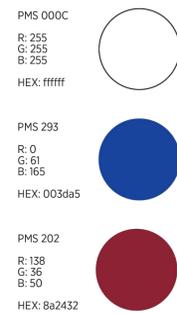
Concrete paving surfaces shall have blue striping with the remaining traffic symbols / text to be red. Reference example below and parking lot paint color chart.



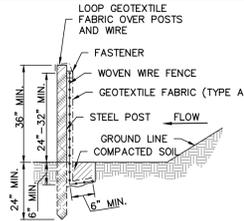
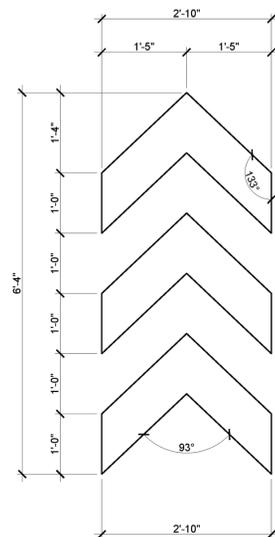
**Parking Lot Striping Colors & Paint**

**Asphalt Paint Colors:**  
 White - Pantone 000C  
 Blue - Pantone 293

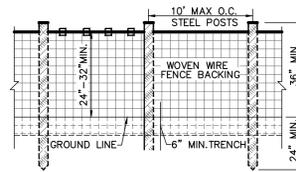
**Concrete Paint Colors:**  
 Red - Pantone 202  
 Blue - Pantone 293



**Traffic Paint Type:**  
 Sherwin-Williams Pro Ark, Setfast, Hotline or an approved equal.



SIDE VIEW



FRONT VIEW

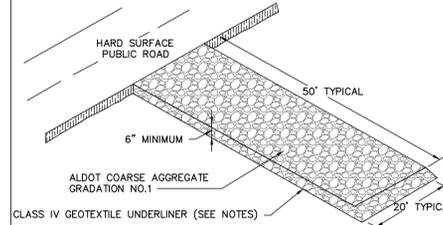
- SPECIAL NOTES:**
- SILT FENCE FABRIC SHALL BE PER TABLE SB-1 FROM THE LATEST ALABAMA EROSION CONTROL HANDBOOK.
  - USE D.O.T. APPROVED WOVEN WIRE FENCE.
  - USE 5' MIN. STEEL POSTS (1.3 LB/FT MIN.).

- NOTES:**
- THE WOVEN WIRE FENCING SHALL BE FASTENED TO THE UPSTREAM SIDE OF POSTS BY STAPLES OF WIRE TIES.
  - GEOTEXTILE FABRIC SHALL BE SECURELY FASTENED TO THE WOVEN WIRE FENCING.

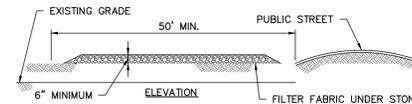
**MAINTENANCE SCHEDULE:**  
 REMOVE SEDIMENT DEPOSITS WHEN THEY REACH A DEPTH OF 15" OR 1/2 THE HEIGHT OF THE FENCE AS INSTALLED TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. SHOULD THE FABRIC OR SILT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

SB SILT FENCE - TYPE A  
 N.T.S.

ADEM



PLAN



ELEVATION

- SPECIAL NOTES:**
- A STABILIZED PAD OF CRUSHED STONE SPREAD OVER FILTER FABRIC SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET. THE STONE SHALL BE ALDOT GRADATION NO. 1 STONE. FILTER FABRIC SHALL BE NONWOVEN GEOTEXTILE CLASS IV OR EQUAL.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY BY STREET CLEANING (NOT FLUSHING). WHEN NECESSARY, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
  - IF THE PAD SLOPE TOWARDS THE ROAD EXCEEDS 2%, A DIVERSION RIDGE 6" - 8" HIGH WITH 3:1 SIDE SLOPES MUST BE CONSTRUCTED ACROSS THE FOUNDATION APPROXIMATELY 15' AWAY FROM THE ROAD AND DRAIN INTO A SEDIMENT TRAP OR BASIN.

CONSTRUCTION EXIT PAD  
 N.T.S.

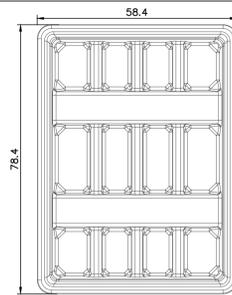


FIGURE 1.1 ABOVE GRADE, PORTABLE CONCRETE WASHOUT

EPA Compliant  
 LEED Compliant  
 NPDES Compliant  
 Complies with SWPPP Plan

WASHOUT DETAIL  
 N.T.S.

- NOTES:**
- CONTRACTOR SHALL HAVE CONCRETE RECYCLE BASIN ON SITE AND COLLECT CONCRETE WASTE AND WASHOUT PER LOCAL AND FEDERAL REGULATIONS. CONTRACTORS SHALL INSTRUCT TRUCK DRIVERS OF WASHOUT BASIN LOCATIONS.
  - NEVER ALLOW WASHOUT MATERIALS OR WATER INTO DRAINAGE WAYS, WATER BODIES, WETLANDS OR IN THE RIGHT OF WAY AREA OF ROADWAYS.
  - NEVER BURY WASTE MATERIAL.
  - INSPECT BASIN AFTER EACH USE. REPLACE WHEN BASIN CAN NO LONGER SAFELY HOLD OR TRANSPORT WASHOUT.
  - CONTRACTOR AND EQUIPMENT OPERATORS ARE RESPONSIBLE FOR MAINTENANCE, INSTALLATION AND COMPLIANCE WITH LOCAL AND FEDERAL REGULATIONS.

The Dumpster Guy  
 Alabama phone: 251-270-9633  
 Louisiana phone: 337-654-5278  
 office@thedumpsterguyusa.com  
 thedumpsterguyusa.com/concrete-washout-basins/

Species	Seeding Rates/Ac PLS <sup>1</sup>	Seeding Dates		
		North	Central	South
Bahiagrass, Pensacola	40 lbs	-	Mar 1-July 1	Feb 1-Nov 1 <sup>2</sup>
Bermudagrass, Common	10 lbs	Apr 1-July 1	Mar 15-July 15	Mar 1-July 15
Bahiagrass, Pensacola	30 lbs 5 lbs	-	Mar 1-July 1	Mar 1-July 15
Bermudagrass, Hybrid (Lawn Types)	Solid Sod	Anytime	Anytime	Anytime
Bermudagrass, Hybrid (Lawn Types)	Sprigs 1/sq ft	Mar 1-Aug 1	Mar 1-Aug 1	Feb 15 -Sep 1
Fescue, Tall	40-50 lbs	Sep 1-Nov 1	Sep 1-Nov 1	--
Sericea	40-60 lbs	Mar 15-July 15	Mar 1-July 15	Feb 15-July 15
Sericea & Common Bermudagrass	40 lbs 10 lbs	Mar 15-July 15	Mar 1-July 15	Feb 15-July 15
Switchgrass, Alamo	4 lbs	Apr 1-Jun 15	Mar 15-Jun 15	Mar 15-Jun 15

Figure FS-1 Geographical Areas for Species Adaptation

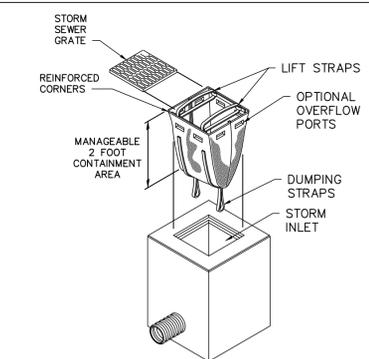


Note: Site conditions related to soils and aspect in counties adjacent or close to county boundaries may justify adjustments in planting dates by qualified design professionals.

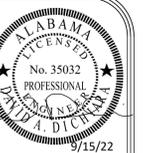
Table MU-1 Mulching Materials and Application Rates

Material	Rate Per Acre and (Per 1000 ft.2)	Notes
Straw (with Seed)	1 1/2 - 2 tons (70 lbs - 90 lbs)	Spread by hand or machine; anchor when subject to blowing.
Straw Alone (no seed)	2 1/2 - 3 tons (115 lbs - 160 lbs)	Spread by hand or machine; anchor when subject to blowing.
Wood Chips	5-6 tons (225 lbs - 270 lbs)	Treat with 12 lbs. nitrogen/ton.
Bark	35 cubic yards (0.8 cubic yard)	Can apply with mulch blower.
Pine Straw	1-2 tons (45 lbs - 90 lbs)	Spread by hand or machine; will not blow like straw.
Peanut Hulls	10-20 tons (450 lbs - 900 lbs)	Will wash off slopes. Treat with 12 lbs. nitrogen/ton.

TEMPORARY SEEDING AND MULCHING RATES  
 N.T.S.



DANDY SACK  
 N.T.S.



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 PELHAM, AL 35124  
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 1000 E. LAUREL STREET  
 FOLEY, AL 36535  
 (251) 943 - 8860

ISSUE FOR PERMIT-9/15/22  
 REVISIONS

PROJECT ADDRESS:  
 131 MCMEANS AVENUE  
 BAY MINETTE, AL

CIVIL DETAILS

PROJECT NAME:  
 7 BREW COFFEE

DRAWN BY: AGL  
 CHECKED BY: DAD  
 PROJECT No.: F\_GMCO006  
 CAD FILE: DETAILS  
 DATE: August 26, 2022

SHEET NO.  
 C6.1

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No.	Date	Revisions / Submissions

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222052-016	Project No.
08.19.22	Date

Sheet Title

**LANDSCAPE  
PLANTING PLAN**

Sheet No.

**LP100**

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT
	NR2	1	ILEX X 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY FULL TO GROUND	15 GAL	3" CAL	8'
	LN	1	LAGERSTROEMIA INDICA 'NATCHEZ' / 'NATCHEZ' CRAPE MYRTLE MINIMUM 3 TRUNKS, FULL HEAD	15 GAL	0.75" CAL	8'
	QV	2	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK FULL HEAD, SPECIMEN QUALITY	B&B OR CONT	3.5" CAL	12'
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	
	SOD	15,513 SF	CYNODON DACTYLON 'TIFWAY 419' / TIFWAY 419 BERMUDA GRASS	SOD		

**LANDSCAPE AREA REQUIREMENTS (10.5)**

Total Site Area:	40,123 s.f.
Required Landscape Area 15%:	6,018 s.f.
Provided Landscape Area:	15,529 s.f.

**STREET FRONTAGE REQUIREMENTS (10.6)**

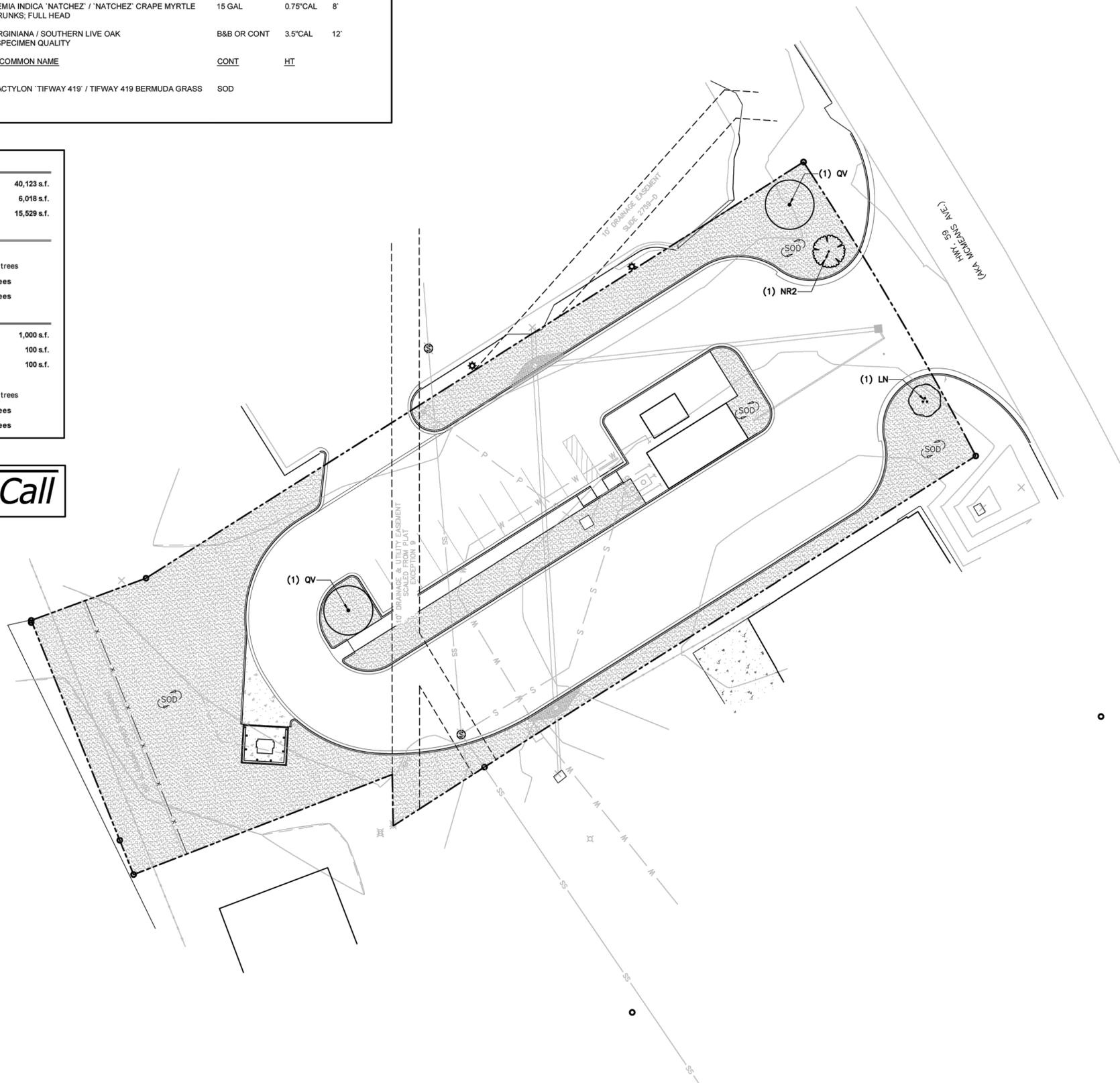
Hwy 59  
1 tree per 25 LF ROW @ 71.0 LF = 2.84 trees  
Total Frontage Trees Required: 3 trees  
Total Frontage Trees Provided: 3 trees

**PARKING LOT TREE REQUIREMENTS (10.10)**

Proposed Parking Lot Area:	1,000 s.f.
Required Landscape Area (10%):	100 s.f.
Provided Landscape Island Area:	100 s.f.

Trees  
1 tree per 12 spaces @ 11 spaces = 0.92 trees  
Total Parking Lot Trees Required: 1 trees  
Total Parking Lot Trees Provided: 1 trees

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**1** LANDSCAPE PLANTING PLAN  
Scale: 1" = 20'



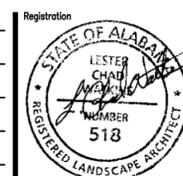
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A Landscape Development Plan for  
**7 Brew**  
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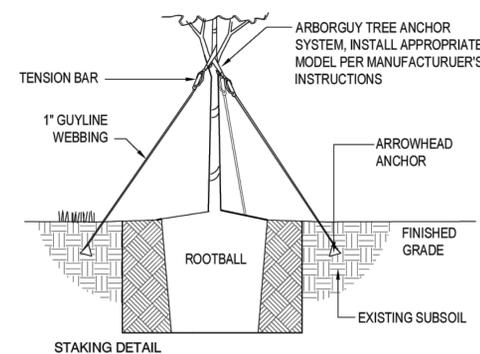


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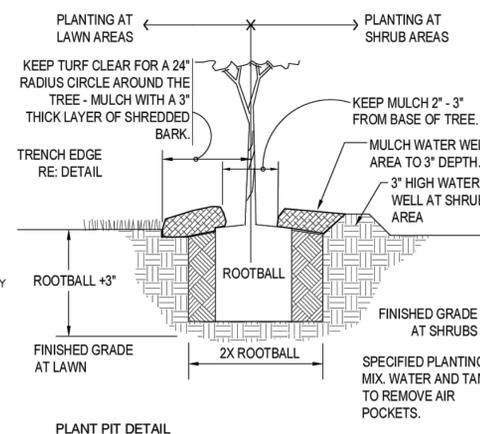
**LANDSCAPE  
PLANTING DETAILS**

Sheet No.

**LP500**



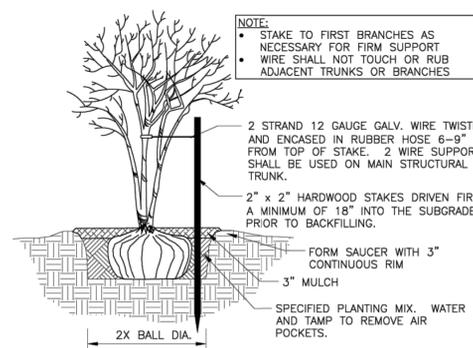
SET ROOTBALL CROWN 1 1/2\"/>



**2 TREE PLANTING - GUY STRAP**  
1" = 1'-0"

- GENERAL CONDITIONS**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
  - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
  - ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.
- LANDSCAPE AREA SOIL PREPARATION**
- PLANTING SOIL SHALL BE CREATED BY AMENDING TOPSOIL WITH THE ADDITION OF COMPOST. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOO AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
  - INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOO AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G. LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS REQUIRED PER SOIL TEST (IF REQUESTED BY OWNER).
  - RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
  - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
  - WATER THOROUGHLY AFTER PLANTING.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.
- PLANT MATERIAL AND PLANTING**
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
  - ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT ANY TIME.
  - PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
  - UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
  - FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
  - NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
  - ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
    - 3" DEPTH PINE BARK
    - 4" DEPTH SHREDDED HARDWOOD MULCH
    - 3" DEPTH LONG LEAF PINESTRAW, SETTLED
  - TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
  - TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
  - ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

**3 GENERAL PLANTING NOTES**  
1" = 1"



**1 MULTI-TRUNK TREE STAKING**  
1/2" = 1'-0"

32 9343-01

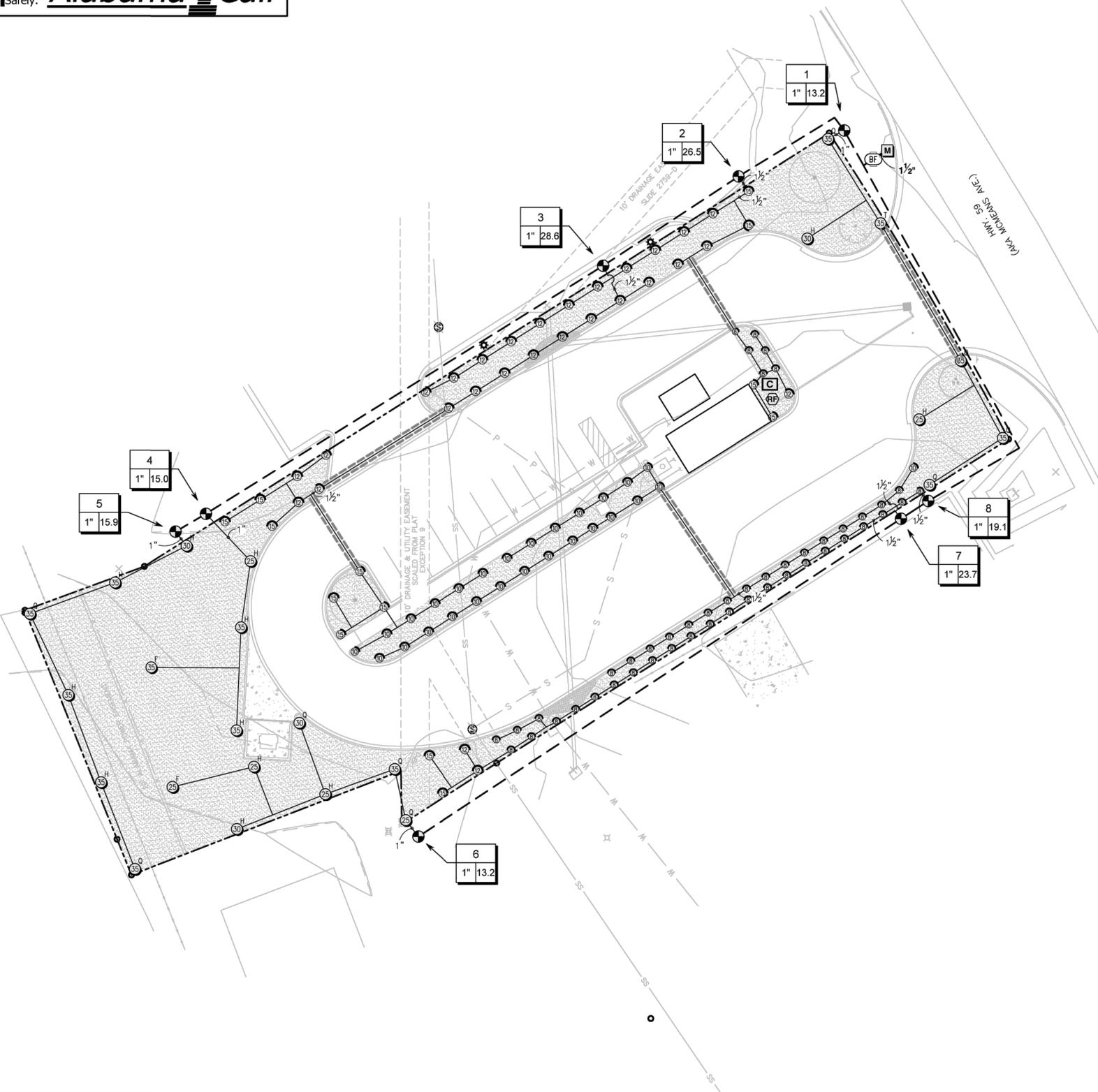
32 9343.26-02

32 9399-01

**IRRIGATION GRAPHICS NOTES**

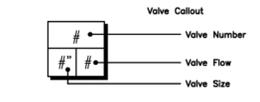
IRRIGATION SYSTEM DESIGN GRAPHICS ARE DIAGRAMMATIC IN NATURE, AND INTENDED TO INDICATE GENERAL LOCATION AND PROXIMITY TO OTHER ELEMENTS OF THE DRAWING. AS SUCH, MAINLINE AND/OR VALVES ARE OFTEN SHOWN OUTSIDE OF TRENCH FOR GRAPHIC CLARITY. ALL EQUIPMENT AND PIPE SHALL BE WITHIN PROPERTY BOUNDARIES UNLESS OTHERWISE NOTED. SLEEVE SIZES TO BE DETERMINED BY CONTRACTOR UNLESS NOTED ON THE DRAWINGS.

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**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
Q T H F	RAIN BIRD 1806-SAM-PRS 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	47	30		
Q T H F	RAIN BIRD 1806-SAM-PRS 10 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	27	30		
Q T H TQ F	RAIN BIRD 1806-SAM-PRS 12 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	28	30		
Q T H TQ F	RAIN BIRD 1806-SAM-PRS 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	13	30		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
ARC	RAIN BIRD 5008-SAM-R-PC-FC-MPR TURF ROTOR, 6.0" POP-UP, PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE), ARC AND RADIUS AS PER SYMBOL. 25 FT-RED, 30 FT-GREEN, 35FT-BEIGE. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	24	45		25'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY			
+	RAIN BIRD PGA 1" ELECTRIC REMOTE CONTROL VALVE	8			
BF	APOLLO VALVES 4A10544F 1" DUAL CHECK VALVE BACKFLOW PREVENTER, INLET SIZE 1", UNION END BALL VALVES, SAE TESTCOCKS	1			
C	RAIN BIRD ESPLXME2 12 STATION TRADITIONALLY WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE.	1			
RF	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1			
M	WATER METER 1" BASIS OF DESIGN: 37.5 GPM @ 55 PSI. CONTRACTOR TO VERIFY.	1			
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1" ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.	1,688 L.F.			
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1 1/2" ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.	254.3 L.F.			
---	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 1 1/2"	688.7 L.F.			
---	PIPE SLEEVE: PVC SCHEDULE 40	206.7 L.F.			



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land planning  
placemaking

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A Landscape Development Plan for  
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Bay Minette, Alabama

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LCW \_\_\_\_\_  
Principal  
222052-016  
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08.19.22  
Date

Sheet Title

**LANDSCAPE IRRIGATION PLAN**

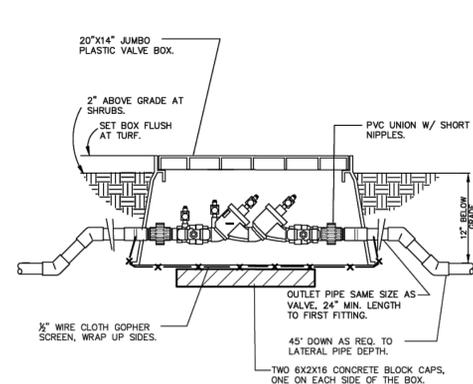
Sheet No.

**LI100**

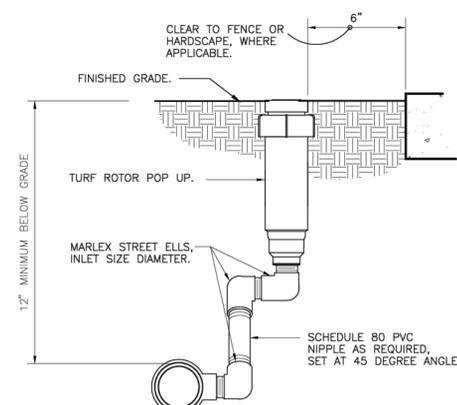
**1 LANDSCAPE IRRIGATION PLAN**  
Scale: 1" = 20'

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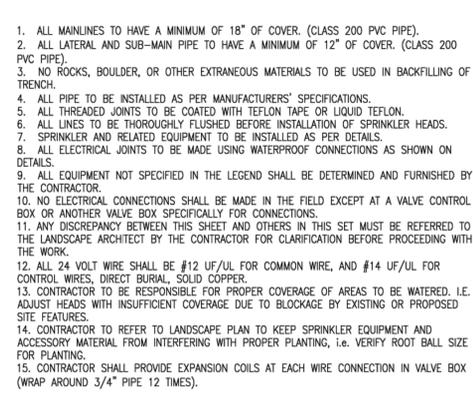
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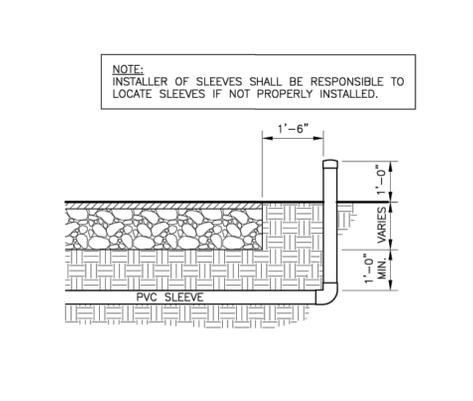
**5** DUAL CHECK VALVE IN BOX  
1/2" = 1'-0" 32 8409.46-06



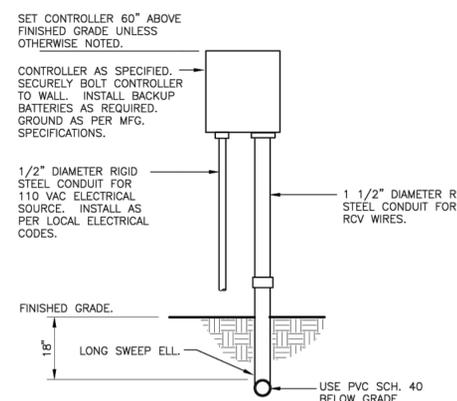
**6** TURF ROTOR MARLEX ASSEMBLY  
3" = 1'-0" 328403.16-01



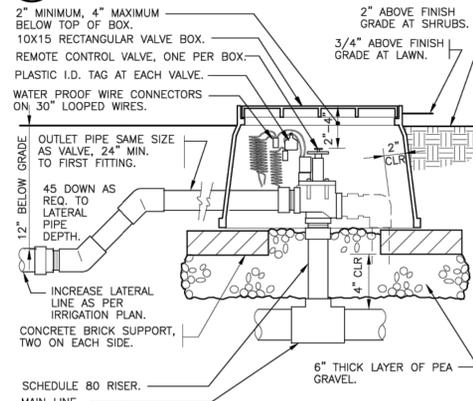
**7** GENERAL IRRIGATION NOTES  
1" = 1" 328415-01



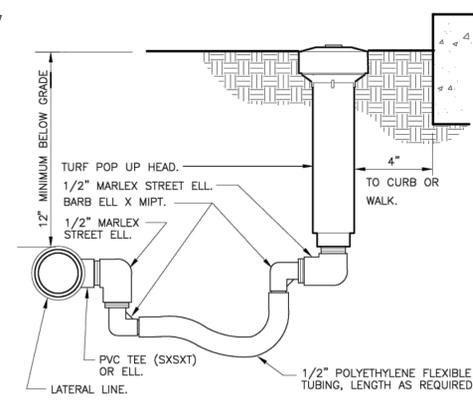
**1** SLEEVING DETAIL  
1/2" = 1'-0" 328409.76-05



**2** WALL MOUNT CONTROLLER  
1" = 1'-0" 328409.13-01



**3** ELECTRIC REMOTE CONTROL VALVE  
1 1/2" = 1'-0" 328406.13-01



**4** TURF SPRAY FLEX ASSEMBLY  
3" = 1'-0" 328403.13-02

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**LANDSCAPE IRRIGATION DETAILS**

Sheet No. **LI500**